

AGENDA
SAANICH ADVISORY DESIGN PANEL
Saanich Municipal Hall, Committee Room No. 2
Wednesday, November 16, 2016 at 3:00 pm

1. **ADOPTION OF MINUTES** – October 05, 2016

2. **CASE #2016/011 – 3959 Shelbourne Street (3:05 pm)**

Application by Ross Roy, Stantec Architecture, for a Development Permit to construct a new 2-storey commercial building for bank use. Variances are requested.

Legal: Lot K (DD C22006), Block 2, Section 57, Victoria District, Plan 901-A, Except Part in Plan 49121

Planning File(s): DPR00647

Planner: Andrea Pickard

***Adjournment ***

Next Scheduled Meeting: December 07, 2016

Note: Please advise if you are unable to attend by contacting Penny Masse at 250-475-1775, x3503, or by email at penny.masse@saanich.ca



CIBC SAANICH BRANCH BUILDING 144204010



**ISSUED FOR AMENDED DP
2016-09-23**



Wey Mayenburg Land Surveying Inc
4-2227 James White Boulevard
Sidney, BC
V8L 1Z5
Tel: 250-656-5155
Fax: 250-656-5175

DRAWING INDEX-SURVEY

NO.	DRAWING NAME
S-01	SITE SURVEY



Stantec Consulting Ltd
400 - 655 Tyeo Road Victoria BC V9A 6X5
Tel: (250) 389-2356
Fax: (250) 382-0514

DRAWING INDEX-CIVIL

NO.	DRAWING NAME
C01	COVER SHEET / LOCATION PLAN
C02	GRADING PLAN
C03	SITE SERVICING
C04	PROFILES AND DETAILS
C05	DETAILS
C2.1	OFF-SITE WORKS



Stantec Architecture Ltd
200 - 325 25th St SE
Calgary, AB
T2A 7H8
Tel: (403) 716.8000
Fax: (403) 716.8049

DRAWING INDEX-ARCHITECTURAL

NO.	DRAWING NAME
DP-A100	SITE PLAN
DP-A110	FLOOR PLAN
DP-A200	EXTERIOR ELEVATIONS
DP-A300	BUILDING SECTIONS
DP-A400	PERSPECTIVE & STREETScape



Stantec Consulting Ltd
200 - 325 25th St SE
Calgary, AB
T2A 7H8
Tel: (403) 716.8000
Fax: (403) 716.8049

DRAWING INDEX-ELECTRICAL

NO.	DRAWING NAME
DP-E100	SITE PLAN - ELECTRICAL
DP-E101	SITE PLAN - LIGHTING CALCULATION



Stantec Consulting Ltd
200 - 325 25th St SE
Calgary, AB
T2A 7H8
Tel: (403) 716.8000
Fax: (403) 716.8049

DRAWING INDEX-LANDSCAPE

NO.	DRAWING NAME
L100	LANDSCAPE DRAWING
L101	TREE TRENCH

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Legend

LEGAL DESCRIPTION
 LOT K, BLOCK 2, SECTION 57,
 VICTORIA DISTRICT PLAN 901A, EXCEPT PLAN
 49121, DD C22006

Notes

Revision	By	Appd	YYYY.MM.DD
ISSUED FOR AMENDED DP	SA	RR	2016.09.23
ISSUED FOR BUILDING PERMIT	SA	JC	2016.06.09
ISSUED FOR 80% REVIEW	SA	JC	2016.05.31
ISSUED FOR 75% REVIEW	SA	JC	2016.05.20
ISSUED FOR DP	CV	RR	2016-04-29
DP PRE-APPLICATION	CV	RR	2016-04-18
Issued	By	Appd	YYYY.MM.DD

Permit-Seal

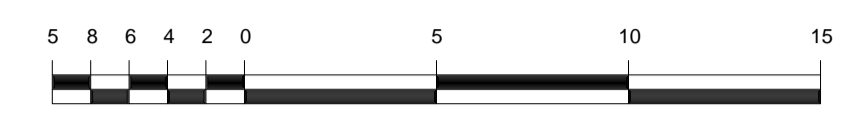
Client/Project
FIRST CAPITAL REALTY INC
CIBC SAANICH BRANCH BUILDING
 3959 SHELBOURNE ST, SAANICH, BC

Title
SITE SURVEY

Project No. 144204010 Scale As indicated
 Revision Drawing No.

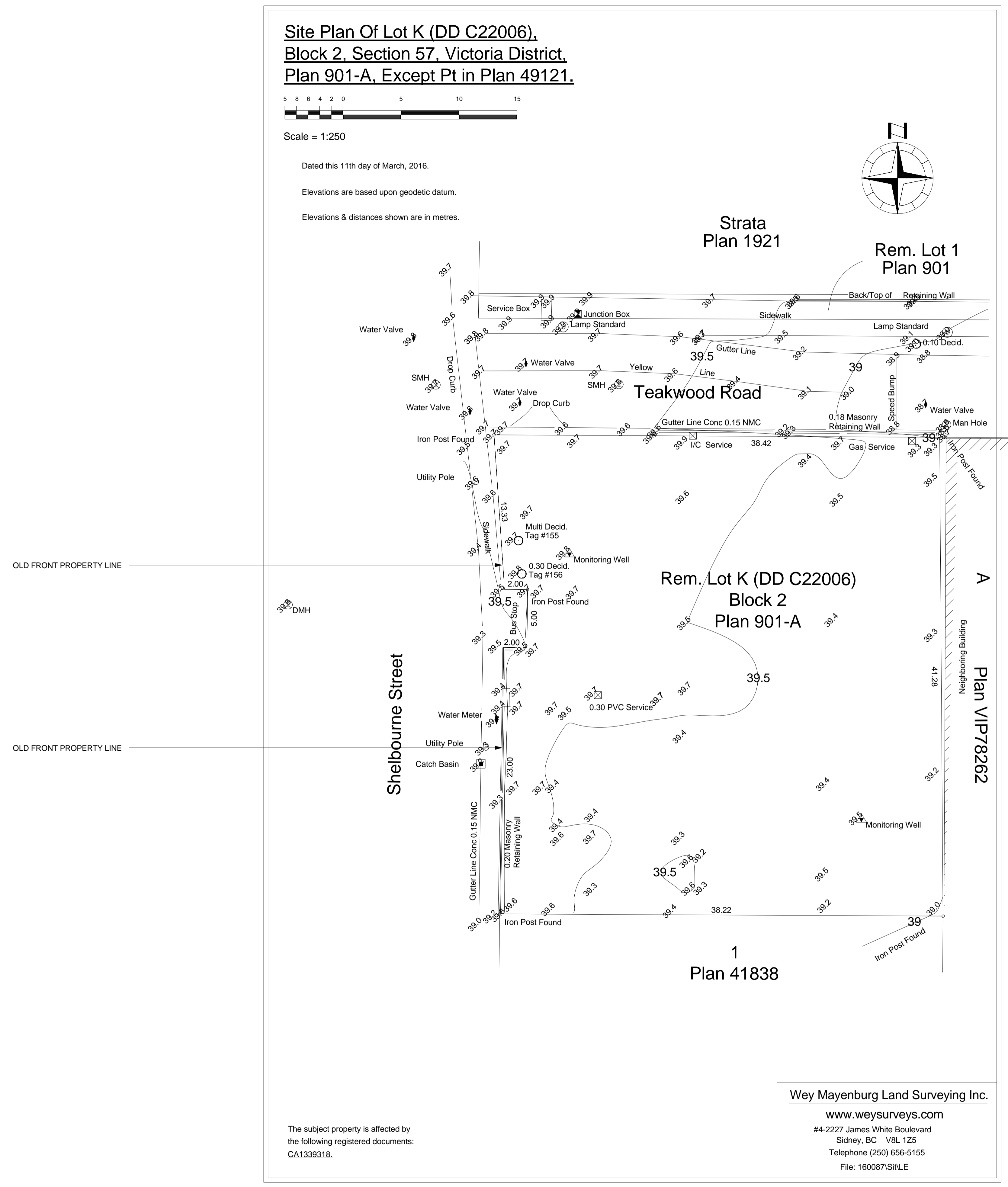
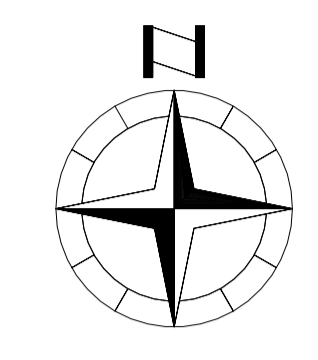
S-01

**Site Plan Of Lot K (DD C22006),
 Block 2, Section 57, Victoria District,
 Plan 901-A, Except Pt in Plan 49121.**



Scale = 1:250

Dated this 11th day of March, 2016.
 Elevations are based upon geodetic datum.
 Elevations & distances shown are in metres.



The subject property is affected by the following registered documents:
CA1339318.

Wey Mayenburg Land Surveying Inc.
 www.weysurveys.com
 #4-2227 James White Boulevard
 Sidney, BC V8L 1Z5
 Telephone (250) 656-5155
 File: 16008751NLE

SITE SURVEY

CIBC BRANCH BUILDING

3959 SHELBOURNE ST, SAANICH, BC



LOCATION PLAN

LOT K, BLOCK 2, SECTION 57;
 VICTORIA DISTRICT PLAN 901A, EXCEPT PLAN 49121, DD C22006

DRAWING LIST

- C01 COVER SHEET / LOCATION PLAN
- C02 GRADING PLAN
- C03 SITE SERVICING
- C04 PROFILES AND DETAILS
- C05 DETAILS
- C2.1 OFF-SITE WORKS

GENERAL NOTES

1. ALL ON-SITE CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH THESE DRAWINGS, THE CURRENT EDITION OF THE BC PLUMBING CODE AND TECHNICAL SECTIONS OF THE 2014 MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD)
2. PERMIT TO CONSTRUCT WORKS ON MUNICIPAL ROAD ALLOWANCE AND/OR MUNICIPAL RIGHT-OF-WAY MUST BE OBTAINED FROM THE DISTRICT OF SAANICH ENGINEERING DEPARTMENT BEFORE WORKS COMMENCE.
3. A PERMIT TO CONSTRUCT WORKS UNDER OR ADJACENT TO BOULEVARD OR BY-LAW PROTECTED TREES MUST BE OBTAINED FROM SAANICH PARKS DEPARTMENT BEFORE WORKS COMMENCE.
4. EXISTING SERVICES MUST BE EXPOSED AT CROSSING POINTS BEFORE CONSTRUCTION.
5. ALL CONNECTIONS/SERVICES PROVIDED BY MUNICIPAL CREWS WILL BE COMPLETED AT THE APPLICANT'S EXPENSE FOR THE ESTIMATE AMOUNT OR THE APPLICABLE FIXED FEE.
6. SURVEY LAYOUT BY CONTRACTOR. STANTEC WILL PROVIDE A DIGITAL DRAWING FILE TO THE CONTRACTOR'S SURVEYOR FOR LAYOUT.
7. THE CONTRACTOR SHALL REQUEST INSPECTIONS A MINIMUM 24 HOURS PRIOR TO BEING REQUIRED AND ONLY AFTER THEY HAVE SATISFIED THEMSELVES THAT NO DEFICIENCIES EXIST. REINSPECTIONS SHALL BE AT THE CONTRACTOR'S EXPENSE.
8. CAUTION: CONTACT BC 1 CALL AT 1-800-474-6886 AT LEAST 48 HOURS IN ADVANCE OF EXCAVATIONS FOR LOCATION OF GAS MAINS AND SERVICES.
9. REFER TO LANDSCAPE DRAWINGS FOR ALL PLANTING, SOFT SURFACE AND BRICK PAVER PATTERN AND COLOUR DETAILS.
10. STORMWATER MANAGEMENT PLAN TO MEET OR EXCEED SAANICH BYLAWS.
11. ALL ON-SITE WATER WORKS TO BE TESTED AND DISINFECTED TO CURRENT AWWA STANDARDS PRIOR TO CONNECTION TO MUNICIPAL SYSTEM.
12. BASE TOPOGRAPHIC AND LEGAL DATA PROVIDED BY WEY MAYENBURG LAND SURVEYING INC., LAND SURVEYOR DRAWING DATED March 11, 2016. STANTEC ASSUMES NO RESPONSIBILITY FOR ACCURACY.
13. ELEVATIONS ARE GEODETIC BASED ON MUNICIPALITY OF SAANICH INTEGRATED SURVEY MONUMENT 87H2530 (ELEV=38.665m)
14. CONTOURS ARE 0.5m INTERVAL.
15. EXISTING UNDERGROUND SERVICE DATA DERIVED FROM SURVEY DATA AND SERVICE PLATES FROM DISTRICT OF SAANICH. STANTEC DOES NOT WARRANT THE ACCURACY OF SHOWN RECORD INFORMATION. THE CONTRACTOR SHALL SATISFY THEMSELVES BY CONDUCTING CAREFUL EXCAVATIONS AND EXPLORATORY WORKS TO LOCATE EXISTING UTILITIES, AND IMMEDIATELY NOTIFY ENGINEER OF DISCREPANCIES FOUND.
16. ALL 100mmØ WATERMAINS TO BE SERIES C900 PVC RATED FOR POTABLE WATER USE.
17. ALL SANITARY AND STORM PIPING TO BE SDR35 PVC.
18. STORM AND SANITARY CLEANOUTS TO BE INSTALLED AT INTERVALS AND LOCATIONS AS SPECIFIED IN THE BC PLUMBING CODE.
19. ALL ELEVATIONS AND GRADES SHOWN ARE IN METERS
20. MAINTENANCE OF STORMWATER FACILITIES MUST BE PERFORMED PER THE MANUFACTURERS SPECIFICATIONS AND THE MUNICIPALITY ADVISED ANNUALLY THAT THE REQUIRED MAINTENANCE HAS BEEN PERFORMED. A MAINTENANCE BOND OR SURETY EQUIVALENT TO THREE YEARS MAINTENANCE SERVICE MUST BE PROVIDED TO THE MUNICIPALITY. AFTER THREE YEARS OF ADEQUATE MAINTENANCE THE BOND WILL BE RETURNED TO THE OWNER. IF NO MAINTENANCE IS PERFORMED THE MUNICIPALITY MAY UNDERTAKE THE WORK AND REDUCE THE MAINTENANCE BOND ACCORDINGLY, OR AFTER THE MAINTENANCE PERIOD HAS EXPIRED CHARGE, THE OWNER FOR THE COST OF THE WORK.
21. ALL PIPE UTILITY EXCAVATION, TRENCHING AND BACKFILLING FOR SERVICES SUCH AS, WATER, SEWER, DRAIN, GAS, ETC. TO BE PER MMCD STANDARD DRAWING G4 AND SECTION 312301.
22. CONTRACTOR TO PROVIDE EROSION AND SEDIMENT CONTROL (ESC) MEASURES AND SEQUENCE THE WORK AS REQUIRED TO PROVIDE CONSTRUCTION POLLUTION PREVENTION FOR BOTH WATER AND AIRBORNE SEDIMENT AND DUST EFFECTIVELY PREVENTING IT FROM LEAVING THE SITE. ESC WORKS AND PRACTICES TO BE IN ACCORDANCE WITH ALL APPLICABLE CURRENT LEED NC 2009, MUNICIPAL, FEDERAL, AND PROVINCIAL AND DEPARTMENT OF FISHERIES AND OCEANS REQUIREMENTS WHICHEVER IS MOST STRINGENT. CONTRACTOR TO EMPLOY ESC BEST MANAGEMENT PRACTICES SUCH AS BUT NOT LIMITED TO: STABILIZED CONSTRUCTION ENTRANCE, SILT FENCING, TEMPORARY STOCKPILE STABILIZATION, SEDIMENT TRAPS, STRAW AND FABRIC CHECK DAMS, CATCH BASIN DRAIN SOCKS, SEDIMENT SETTLING PONDS OR TANKS. CONTRACTOR MONITOR TO MAINTAIN THE ESC MEASURES ON A WEEKLY BASIS AT A MINIMUM AND AFTER ALL RAINFALL EVENTS, AND PROVIDE WEEKLY ESCP MAINTENANCE REPORTS AND PHOTOS TO THE SATISFACTION OF THE ARCHITECT AND CIVIL ENGINEER.
23. REFER TO ARCHITECTURAL DRAWING FOR BUILDING AND SITE LAYOUT DETAILS.
24. SERVICING REQUIREMENTS FOR HYDRO/TELEPHONE/CABLE TO BE AS PER THE RESPECTIVE UTILITY COMPANY REQUIREMENTS.

Notes

Revision	By	Appd	YYYY.MM.DD
5	OL	AG	2016.09.23
4	OL	AG	2016.08.30
3	OL	AG	2016.16.03
2			2016.05.20
1			2016.05.02

Permit-Seal

Client/Project
 FIRST CAPITAL REALTY INC

CIBC BRANCH BUILDING
 3959 SHELBOURNE ST. SAANICH, BC

Title
 COVER SHEET / LOCATION PLAN

Project No. 144204010	Scale 1:2500
Revision	Drawing No.

C01

A
B
C
D

IT1
 U:\144204010\CADD\DWG\CADD\144204010_C01.dwg

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Legend

	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED ELEVATION
	EXISTING ELEVATION
	NON-MOUNTABLE CURB
	REVERSE NON-MOUNTABLE CURB
	CONCRETE EDGE RESTRAINT

- Notes
- 1 LANDSCAPED AREA - REFER TO LANDSCAPE DRAWINGS FOR PLANTER AND PLANTING DETAILS.
 - 2 CONCRETE PAD FOR BIKE LOCKERS REFER TO LANDSCAPE DRAWINGS

Revision	By	Appd	YYYY.MM.DD
6	ISSUED FOR AMENDED DP	OL	AG 2016.09.23
5	ISSUED FOR TENDER	OL	AG 2016.08.30
4	ISSUED FOR BUILDING PERMIT APPLICATION	OL	AG 2016.06.03
3	ISSUED FOR 75% REVIEW		2016.05.20
2	DP APP		2016.05.02
1	DP PRE-APP		2016.04.18

Permit-Seal

Client/Project
 FIRST CAPITAL REALTY INC

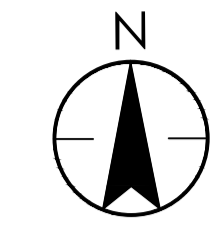
CIBC BRANCH BUILDING
 3959 SHELBOURNE ST. SAANICH, BC

Title
 SITE GRADING PLAN

Project No. 144204010	Scale 1:100	
Revision	Drawing No.	

C02

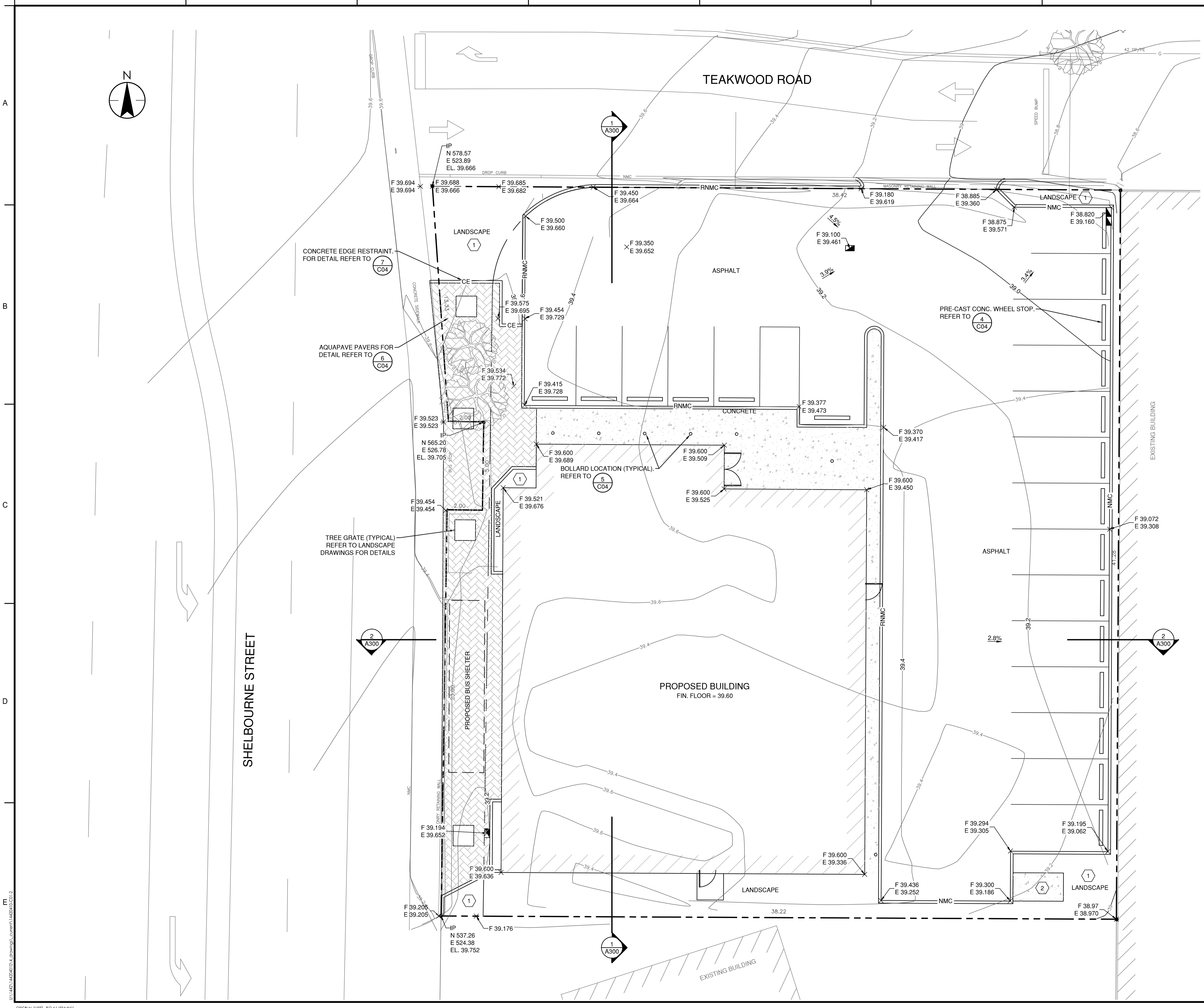
A
B
C
D



SHELBOURNE STREET

TEAKWOOD ROAD

PROPOSED BUILDING
 FIN. FLOOR = 39.60



ORIGINAL SHEET - BO A1 15948411

Legend

Notes

Revision	By	Appd	YYYY.MM.DD	
6	ISSUED FOR AMENDED DP	OL	AG	2016.09.23
5	ISSUED FOR TENDER	OL	AG	2016.08.30
4	ISSUED FOR BUILDING PERMIT APPLICATION	OL	AG	2016.16.03
3	ISSUED FOR 75% REVIEW			2016.05.20
2	DP APP			2016.05.20
1	DP PRE-APP			2016.04.16

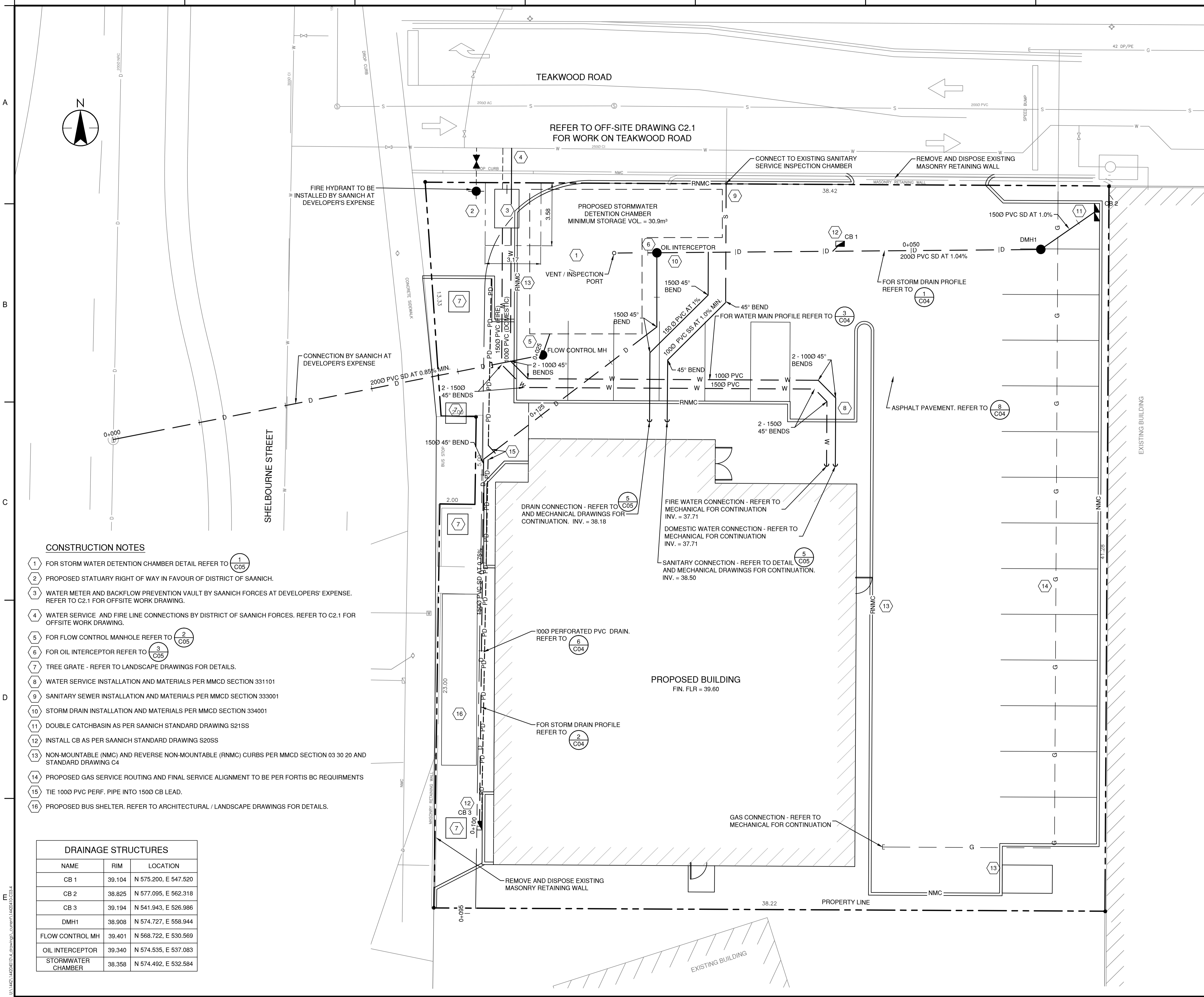
Permit-Seal

Client/Project
FIRST CAPITAL REALTY INC

CIBC BRANCH BUILDING
3959 SHELBOURNE ST. SAANICH, BC
Title
SITE SERVICING PLAN

Project No. 144204010 Scale 1:100
Revision Drawing No.

C03

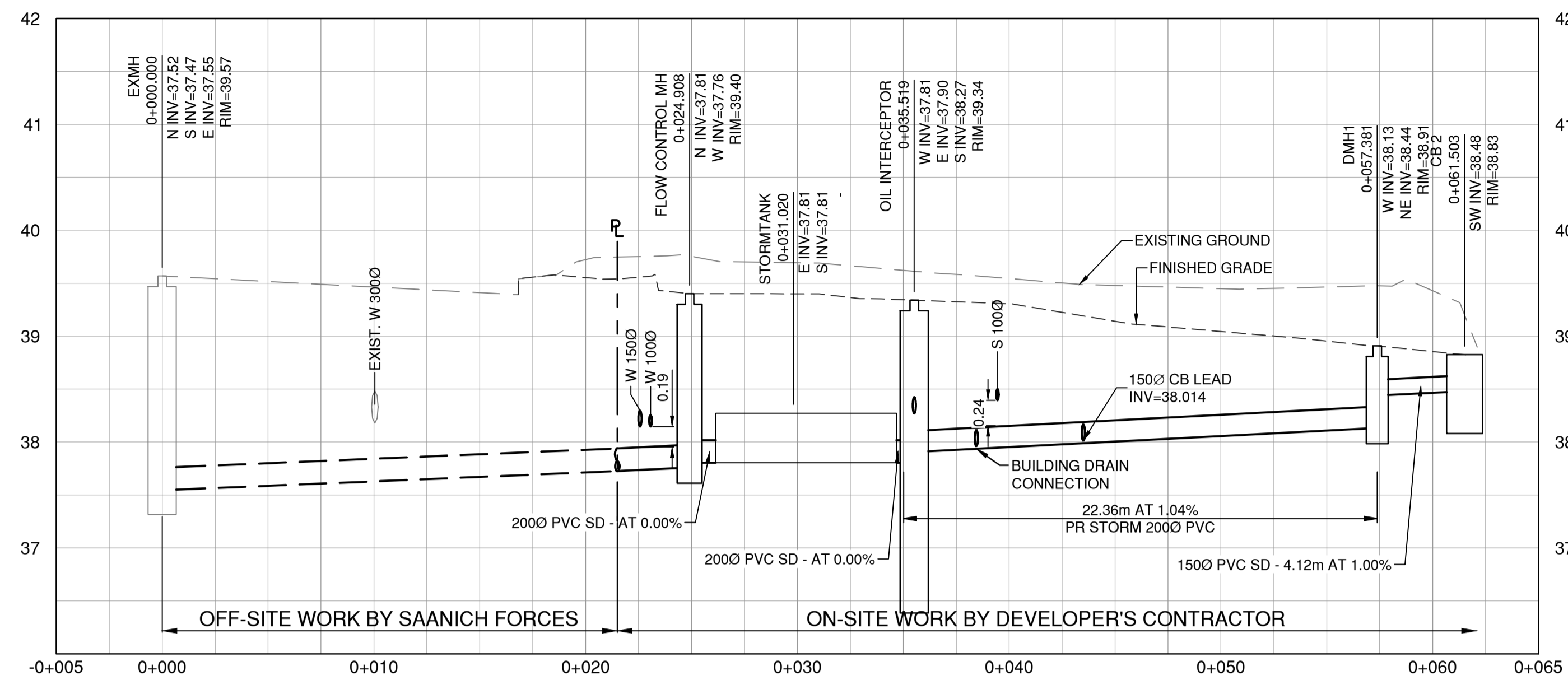


CONSTRUCTION NOTES

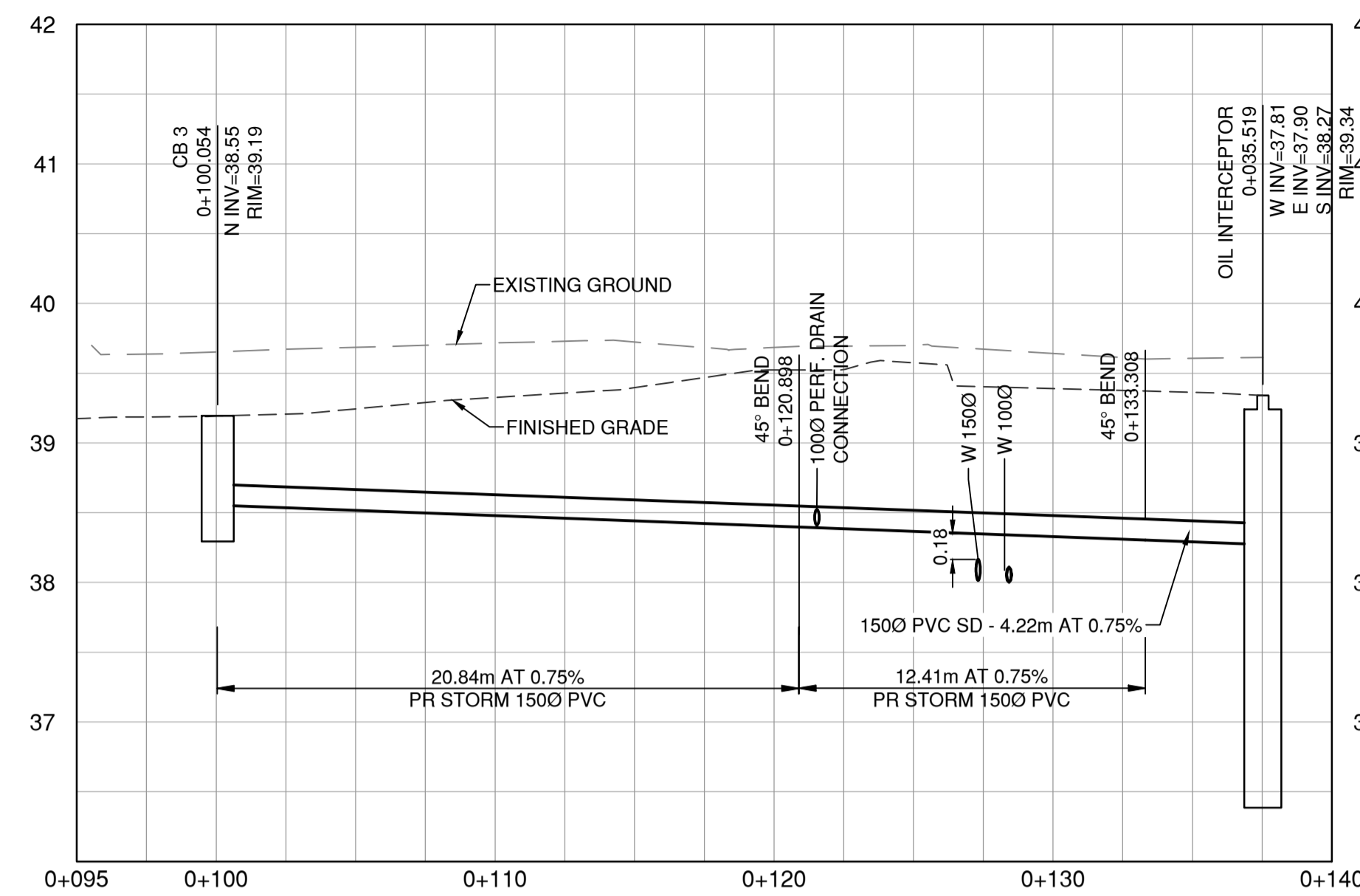
- FOR STORM WATER DETENTION CHAMBER DETAIL REFER TO 1 C05
- PROPOSED STATUARY RIGHT OF WAY IN FAVOUR OF SAANICH.
- WATER METER AND BACKFLOW PREVENTION VAULT BY SAANICH FORCES AT DEVELOPERS' EXPENSE. REFER TO C2.1 FOR OFFSITE WORK DRAWING.
- WATER SERVICE AND FIRE LINE CONNECTIONS BY DISTRICT OF SAANICH FORCES. REFER TO C2.1 FOR OFFSITE WORK DRAWING.
- FOR FLOW CONTROL MANHOLE REFER TO 2 C05
- FOR OIL INTERCEPTOR REFER TO 3 C05
- TREE GRATE - REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- WATER SERVICE INSTALLATION AND MATERIALS PER MMCD SECTION 331101
- SANITARY SEWER INSTALLATION AND MATERIALS PER MMCD SECTION 333001
- STORM DRAIN INSTALLATION AND MATERIALS PER MMCD SECTION 334001
- DOUBLE CATCHBASIN AS PER SAANICH STANDARD DRAWING S21SS
- INSTALL CB AS PER SAANICH STANDARD DRAWING S20SS
- NON-MOUNTABLE (NMC) AND REVERSE NON-MOUNTABLE (RNMC) CURBS PER MMCD SECTION 03 30 20 AND STANDARD DRAWING C4
- PROPOSED GAS SERVICE ROUTING AND FINAL SERVICE ALIGNMENT TO BE PER FORTIS BC REQUIREMENTS
- TIE 1000 PVC PERF. PIPE INTO 1500 CB LEAD.
- PROPOSED BUS SHELTER. REFER TO ARCHITECTURAL / LANDSCAPE DRAWINGS FOR DETAILS.

DRAINAGE STRUCTURES		
NAME	RIM	LOCATION
CB 1	39.104	N 575.200, E 547.520
CB 2	38.825	N 577.095, E 562.318
CB 3	39.194	N 541.943, E 526.986
DMH1	38.908	N 574.727, E 558.944
FLOW CONTROL MH	39.401	N 568.722, E 530.569
OIL INTERCEPTOR	39.340	N 574.535, E 537.083
STORMWATER CHAMBER	38.358	N 574.492, E 532.584

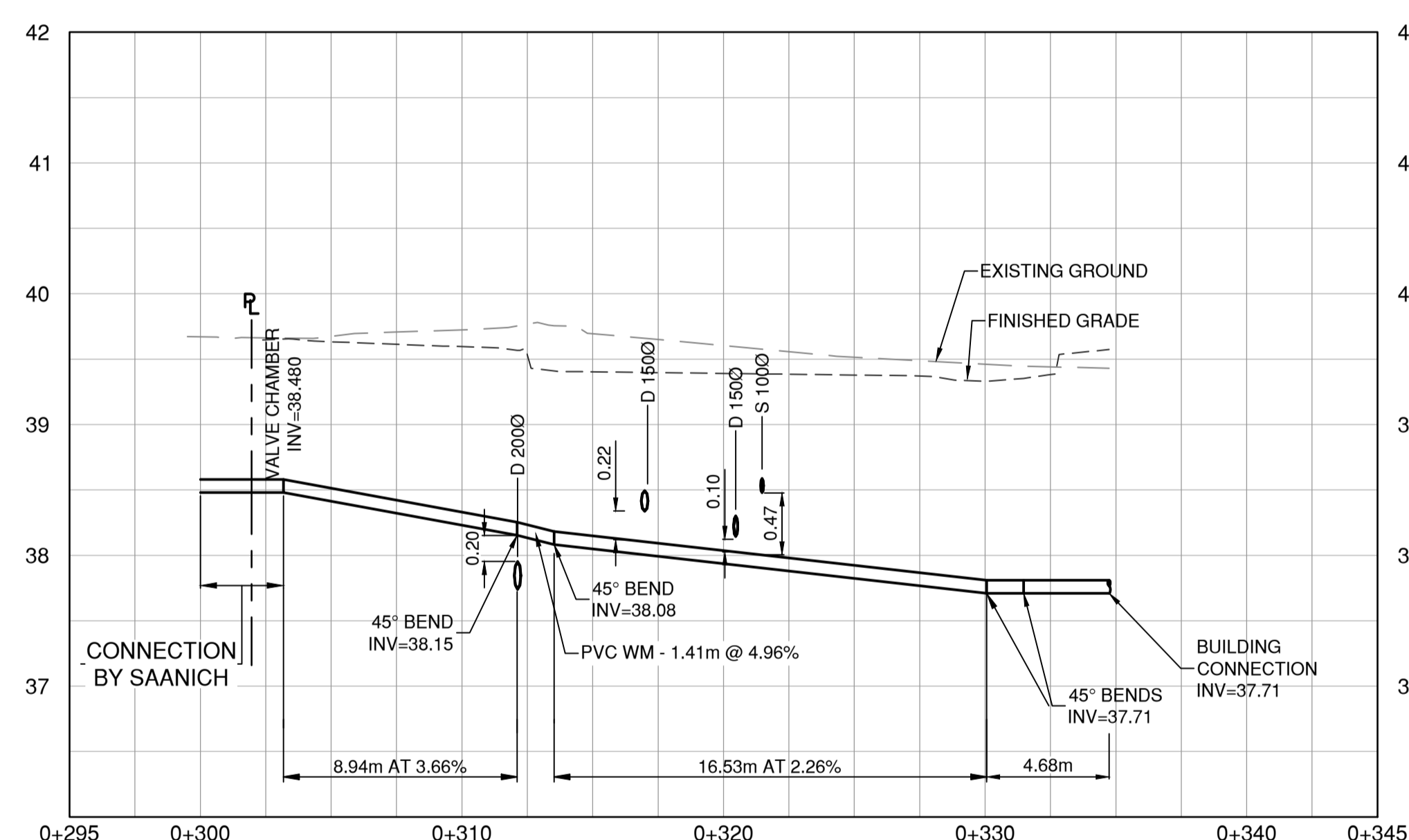
Revision	By	Appd	YYYY.MM.DD	
4	ISSUED FOR AMENDED DP	OL	AG	2016.09.23
3	ISSUED FOR TENDER	OL	AG	2016.08.30
2	ISSUED FOR BUILDING PERMIT APPLICATION	OL	AG	2016.16.03
1	ISSUED FOR 75% REVIEW			2016.05.20



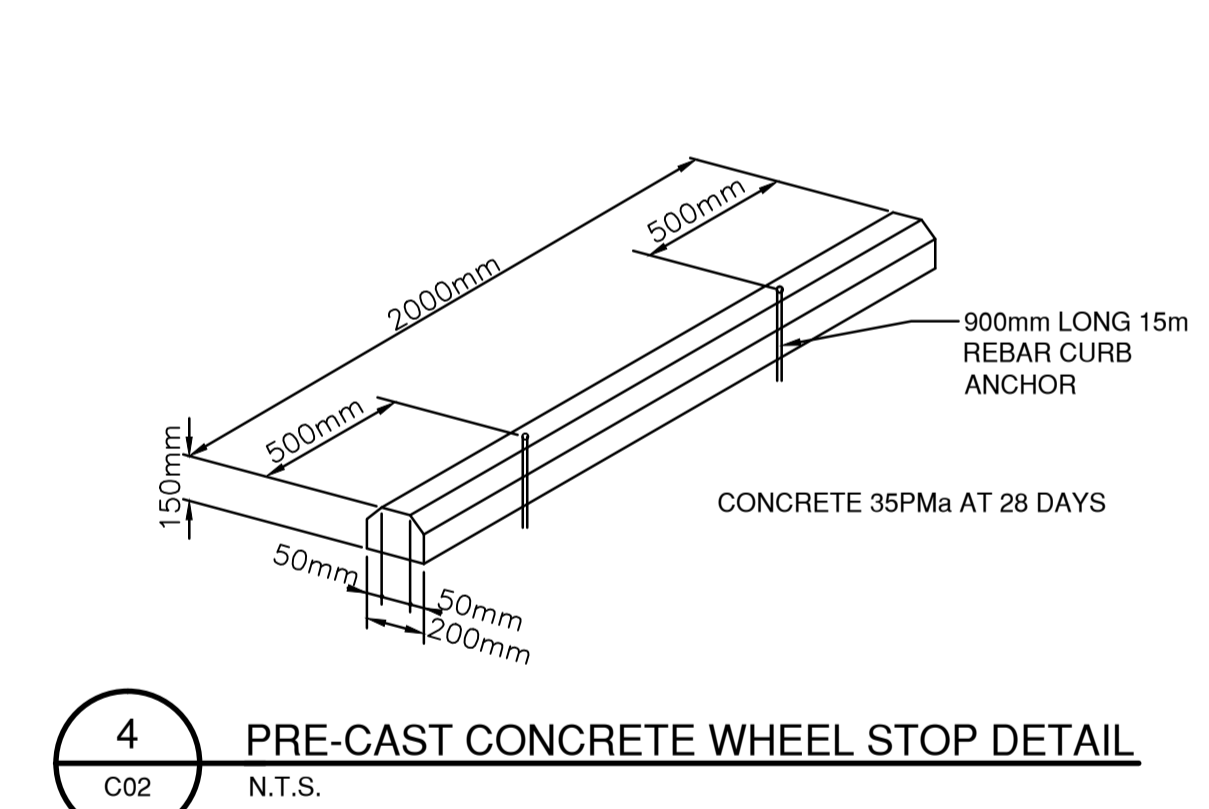
1 STORM DRAIN PROFILE
C03 H 1:200 V 1:40



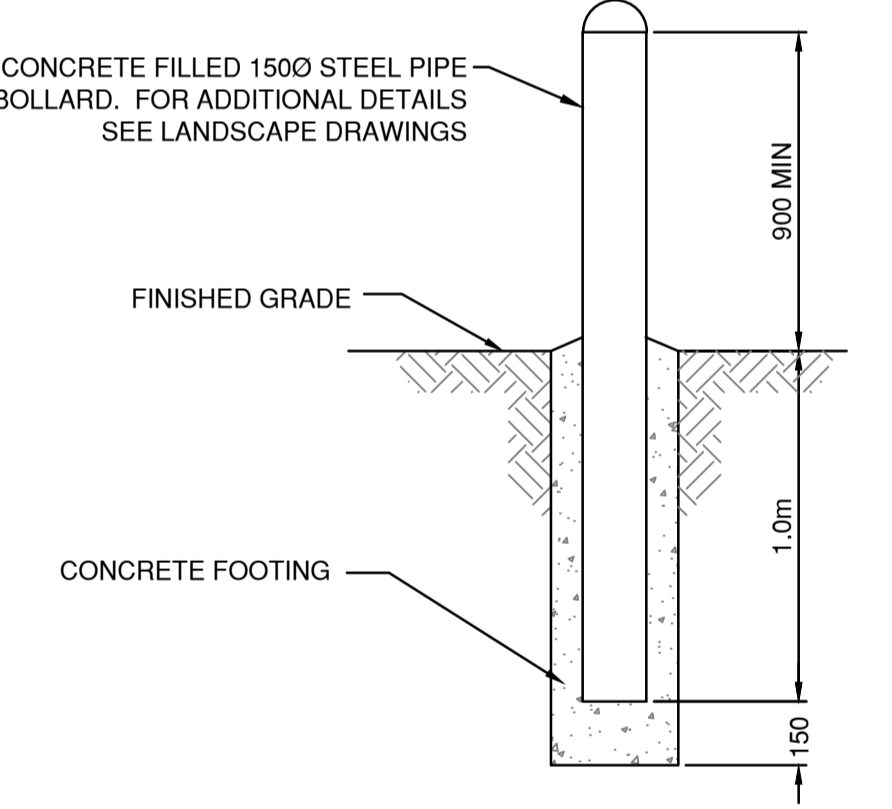
2 STORM DRAIN PROFILE - SHELBOURNE BOULEVARD
C03 H 1:200 V 1:40



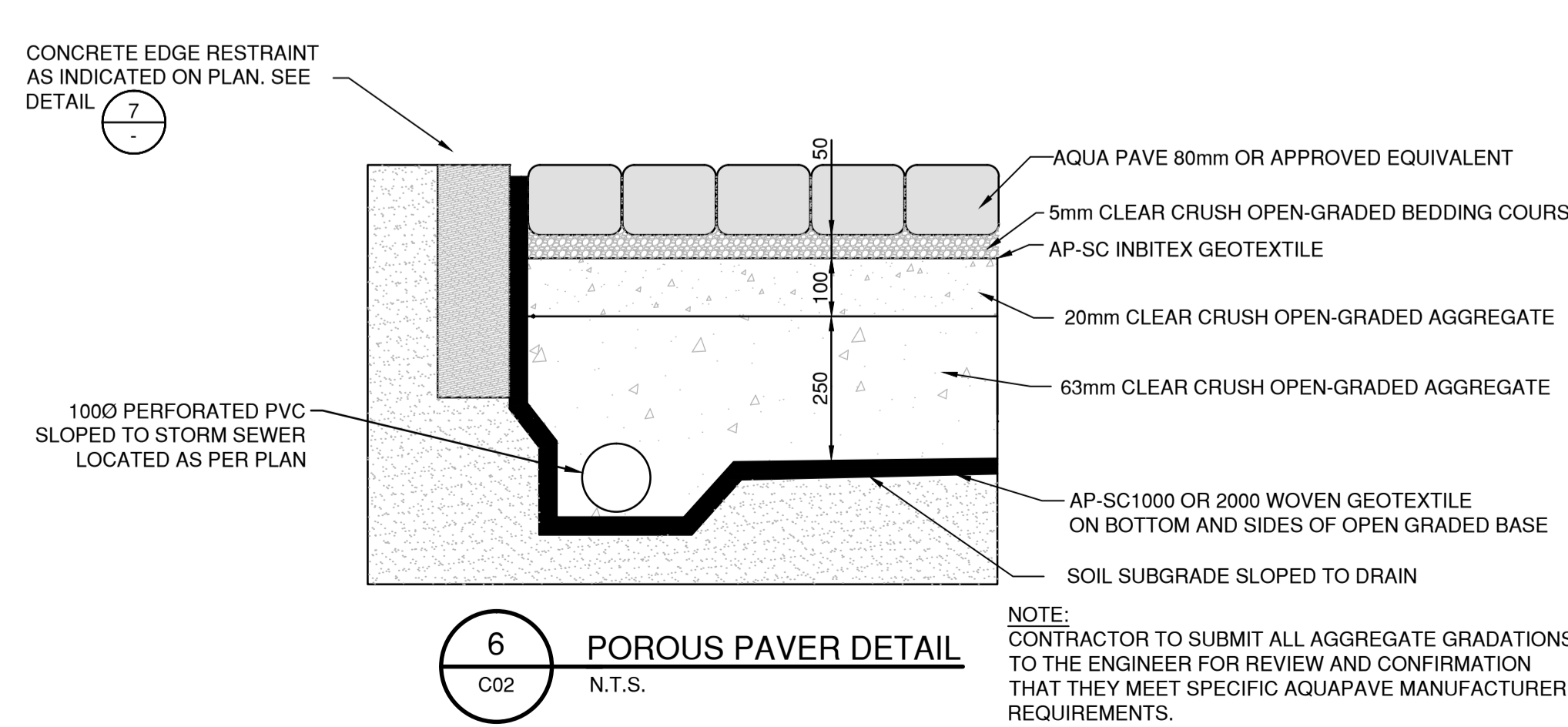
3 1000 DOMESTIC AND 1500 FIRE WATER MAIN PROFILE
C03 H 1:200 V 1:40



4 PRE-CAST CONCRETE WHEEL STOP DETAIL
C02 N.T.S.

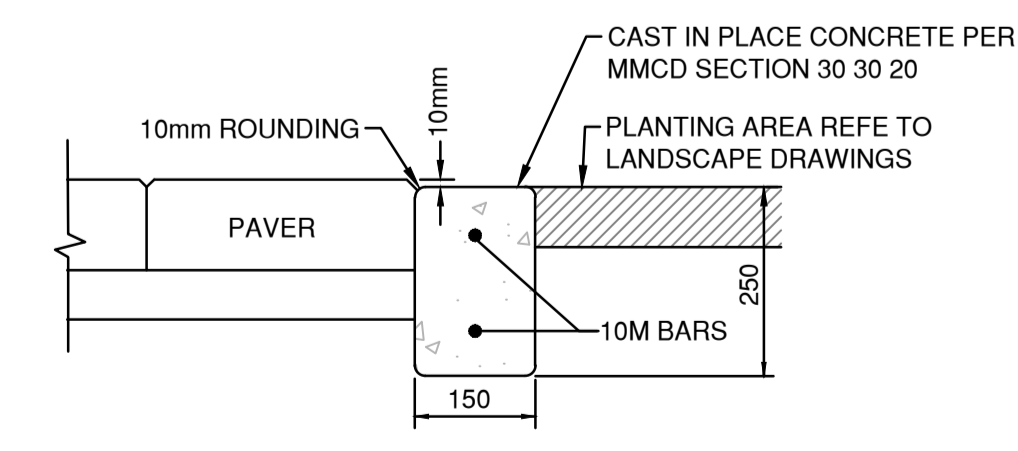


5 BOLLARD DETAIL
C02 N.T.S.

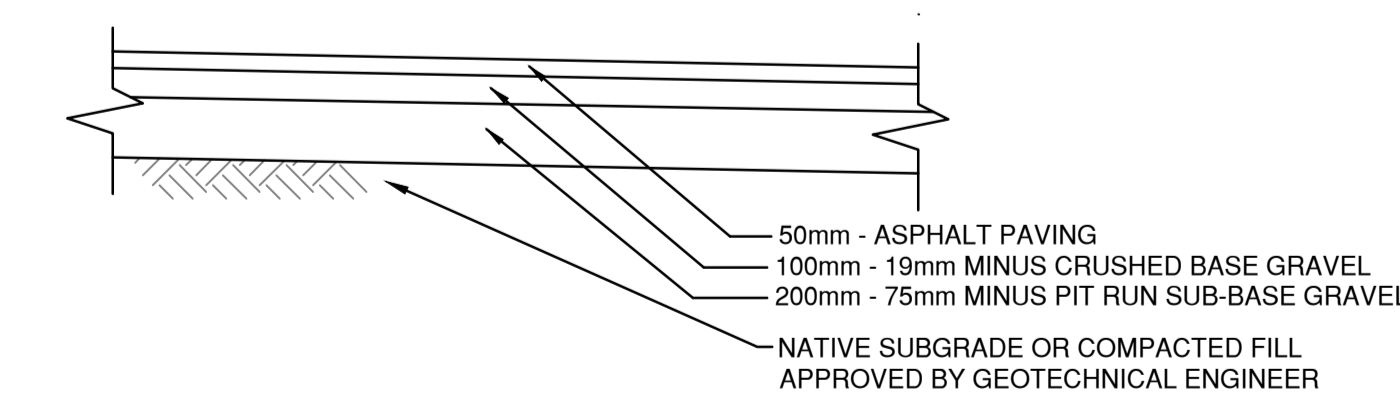


6 POROUS PAVER DETAIL
C02 N.T.S.

NOTE: CONTRACTOR TO SUBMIT ALL AGGREGATE GRADATIONS TO THE ENGINEER FOR REVIEW AND CONFIRMATION THAT THEY MEET SPECIFIC AQUAPAVE MANUFACTURER REQUIREMENTS.



7 CONCRETE EDGE RESTRAINT DETAIL
C02 N.T.S.



NOTE: ALL BASE AND SUB-BASE GRAVELS TO BE AS PER MMCD SECTION 31.02.17 ASPHALT TO BE PER MMCD SECTION 32.12.16

8 TYPICAL ASPHALT SECTION DETAIL
C03 N.T.S.

Revision	By	Appd	YYYY.MM.DD
4		OL AG	2016.09.23
3		OL AG	2016.08.30
2		OL AG	2016.06.03
1		OL AG	2016.05.20
Issued		By Appd	YYYY.MM.DD

Client/Project
FIRST CAPITAL REALTY INC

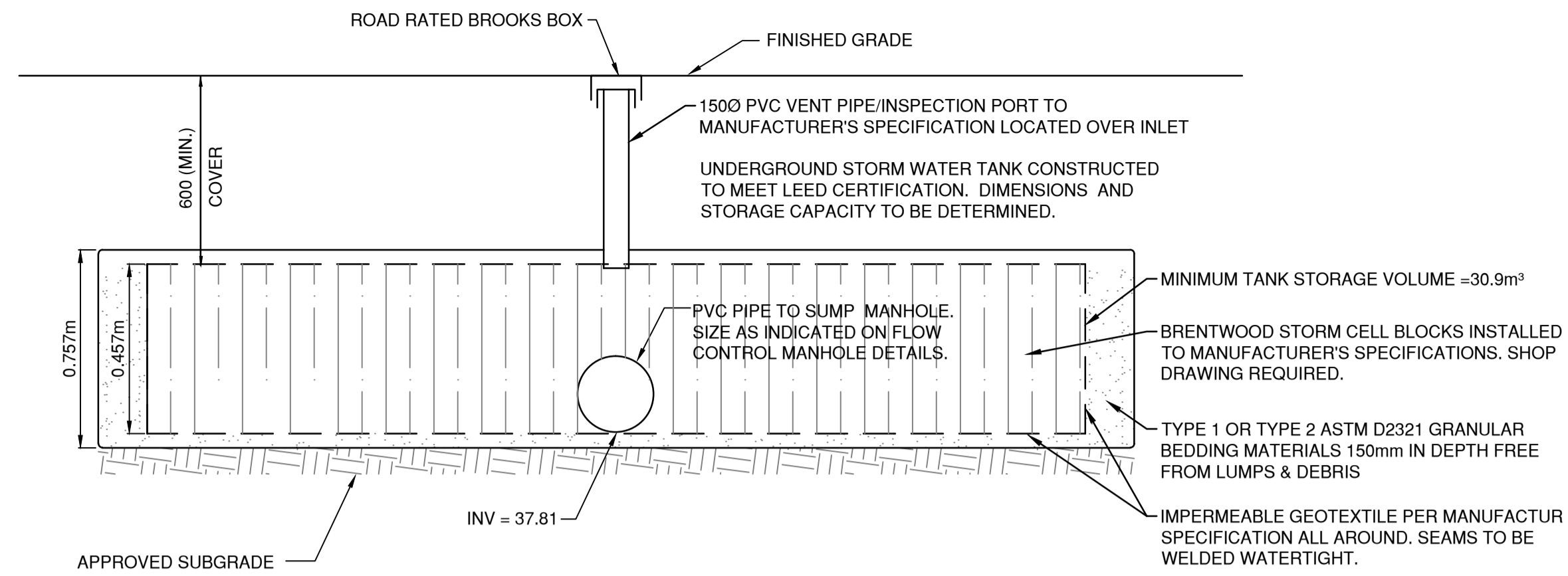
CIBC BRANCH BUILDING

3959 SHELBOURNE ST. SAANICH, BC

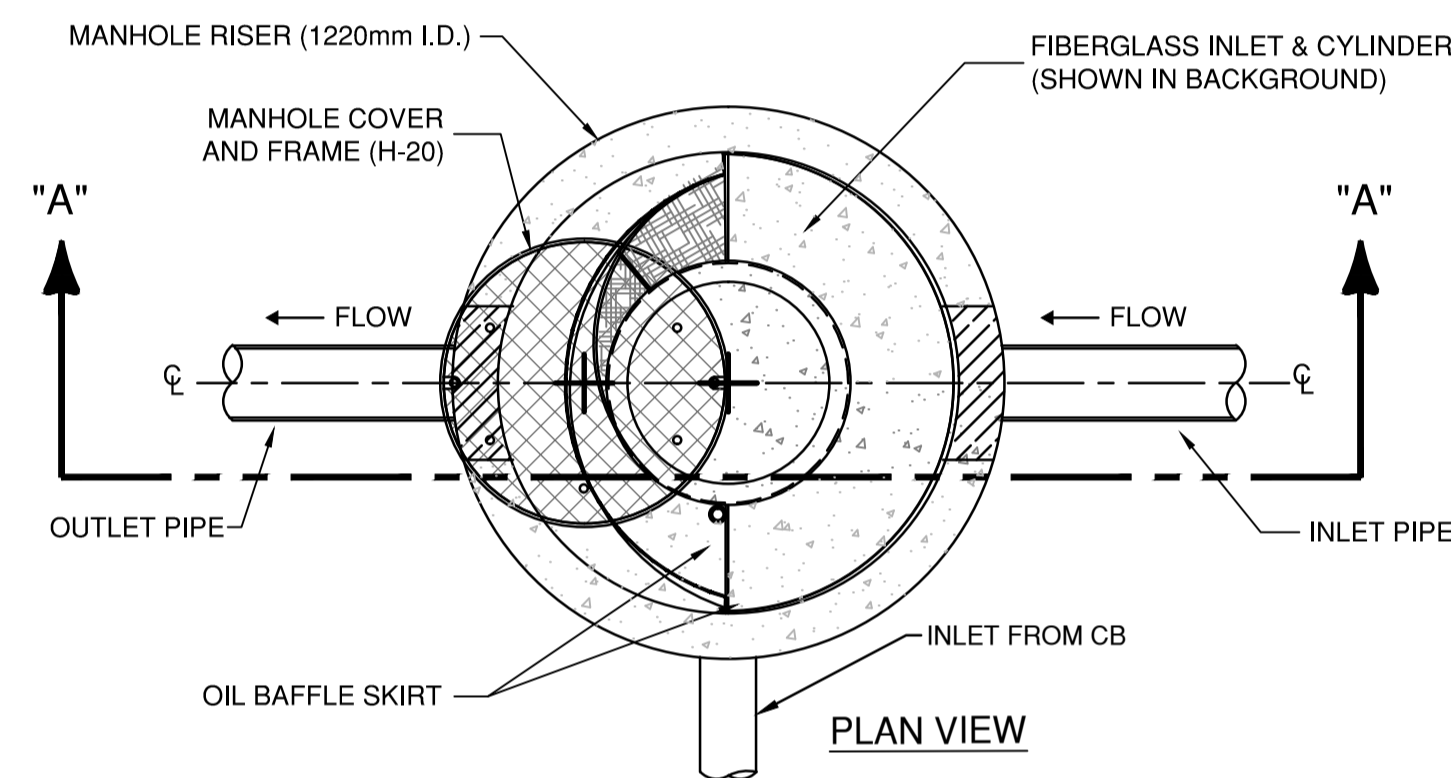
Title
DETAILS

Project No. 144204010 Scale AS SHOWN

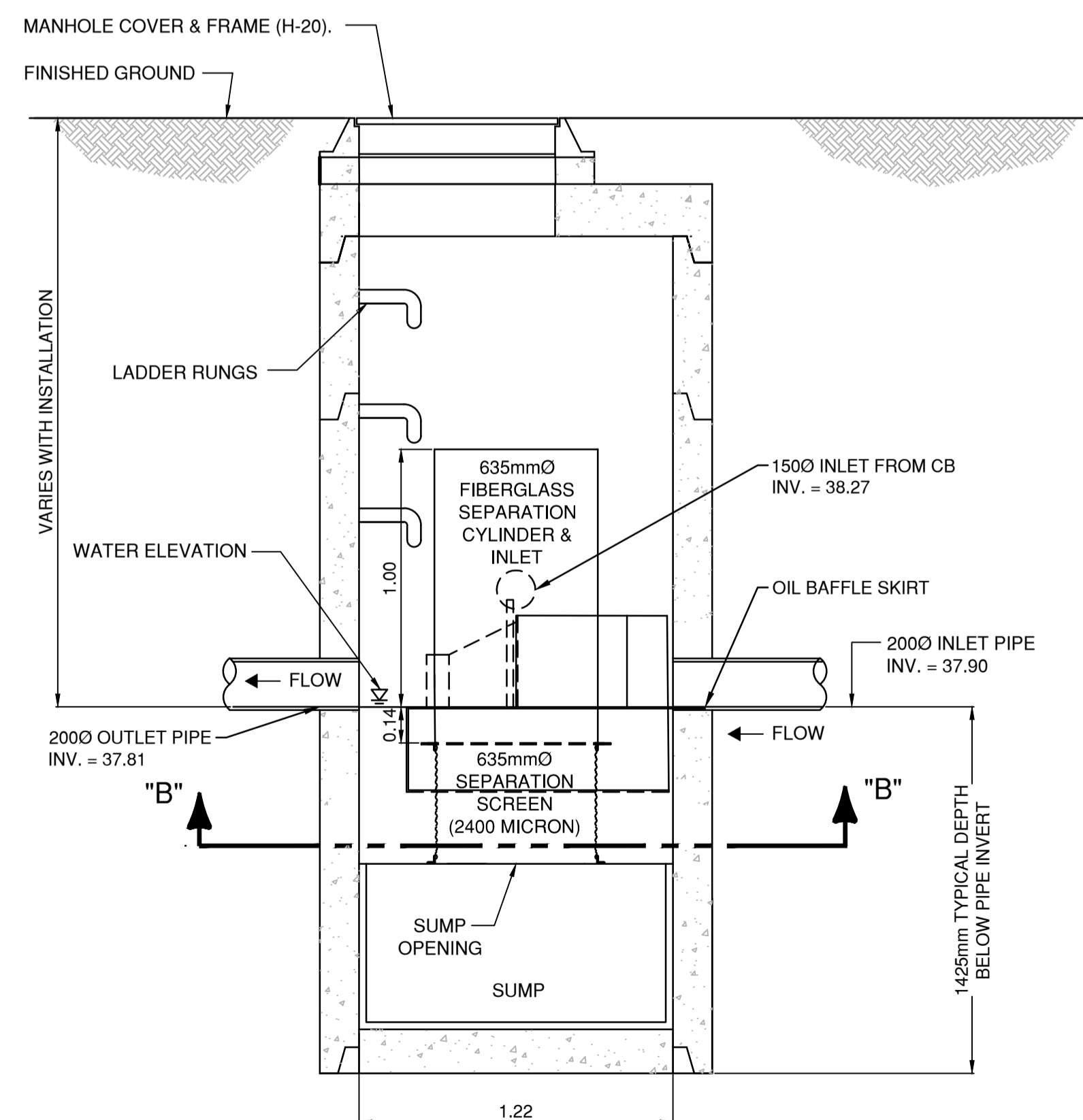
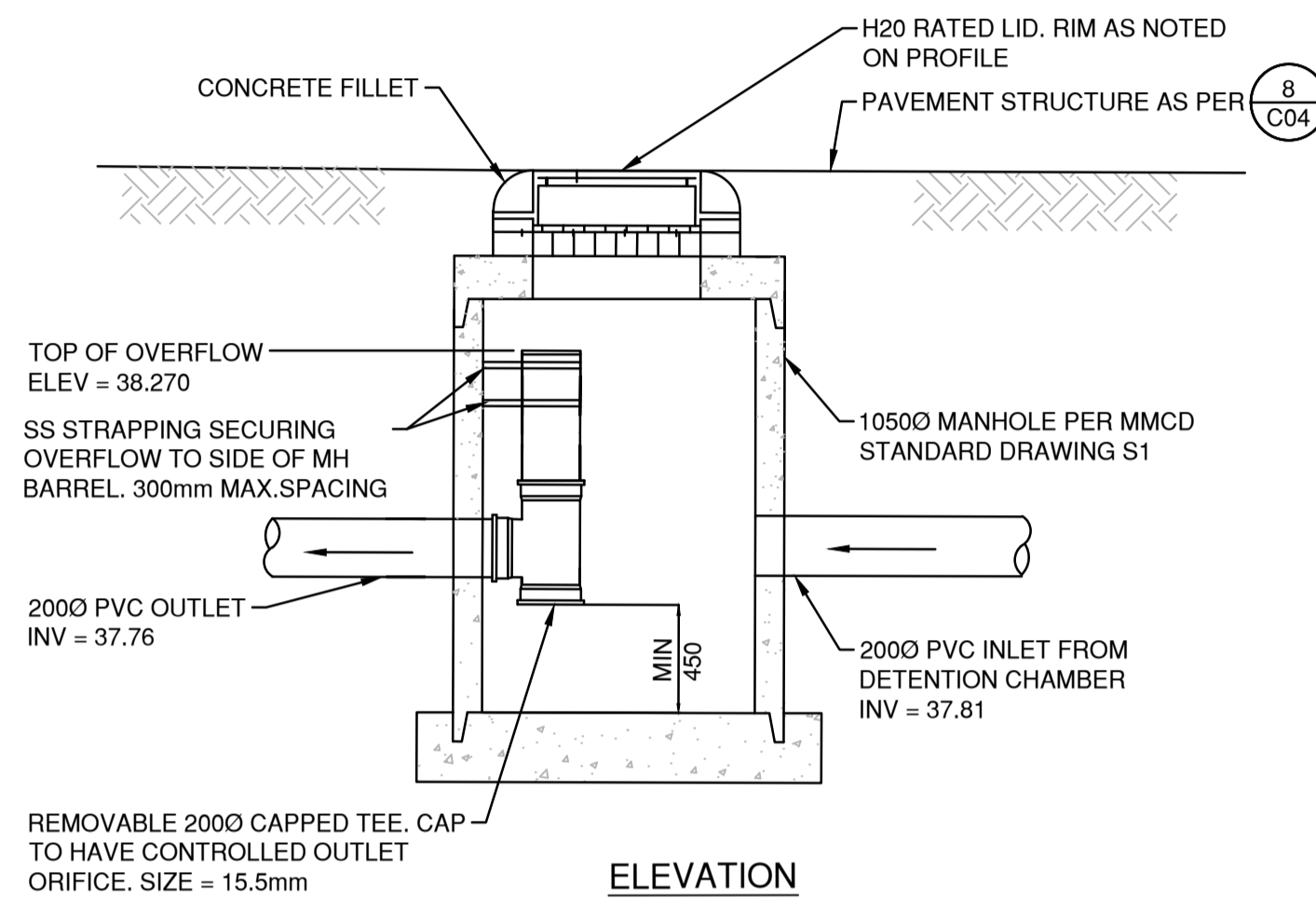
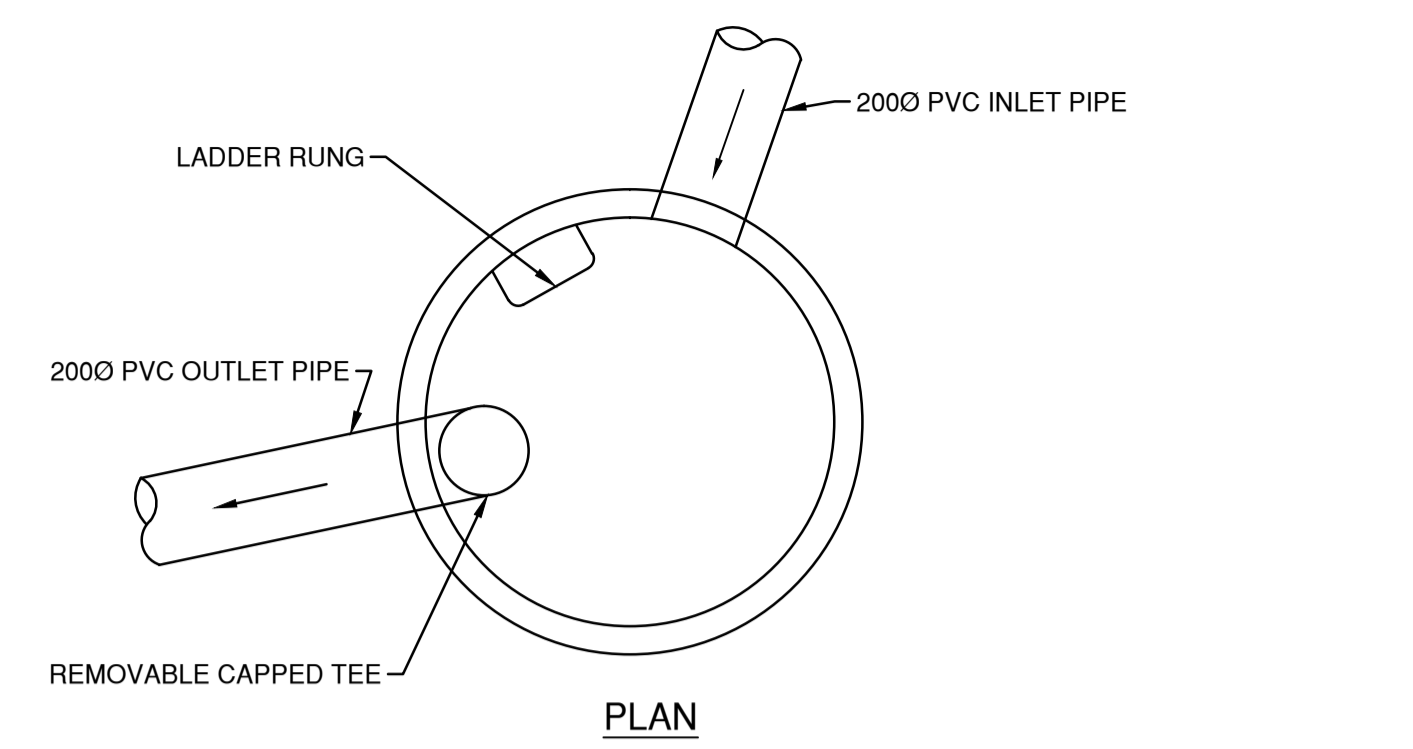
Revision Drawing No.



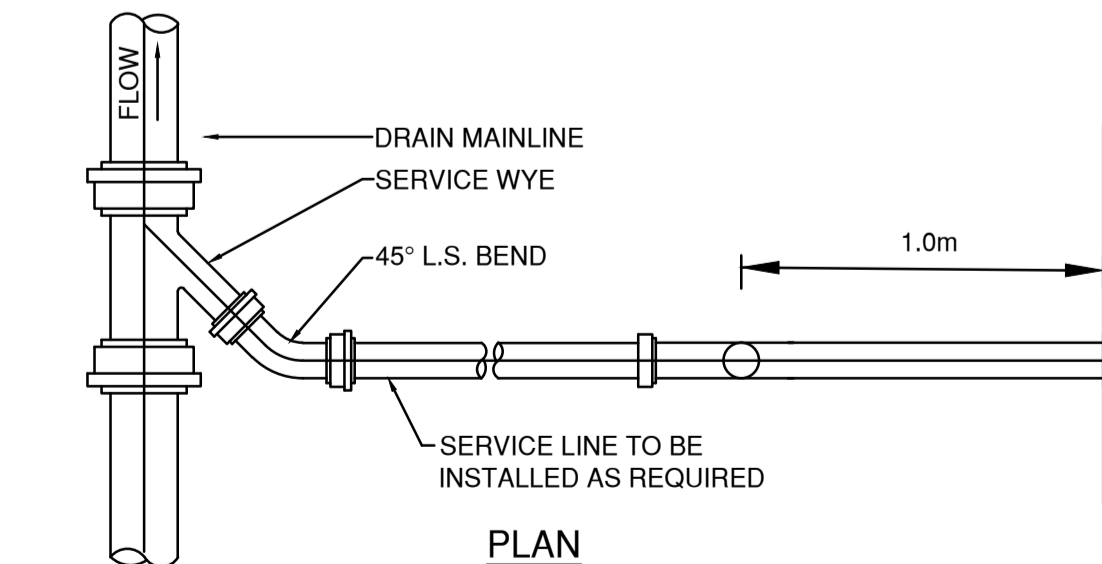
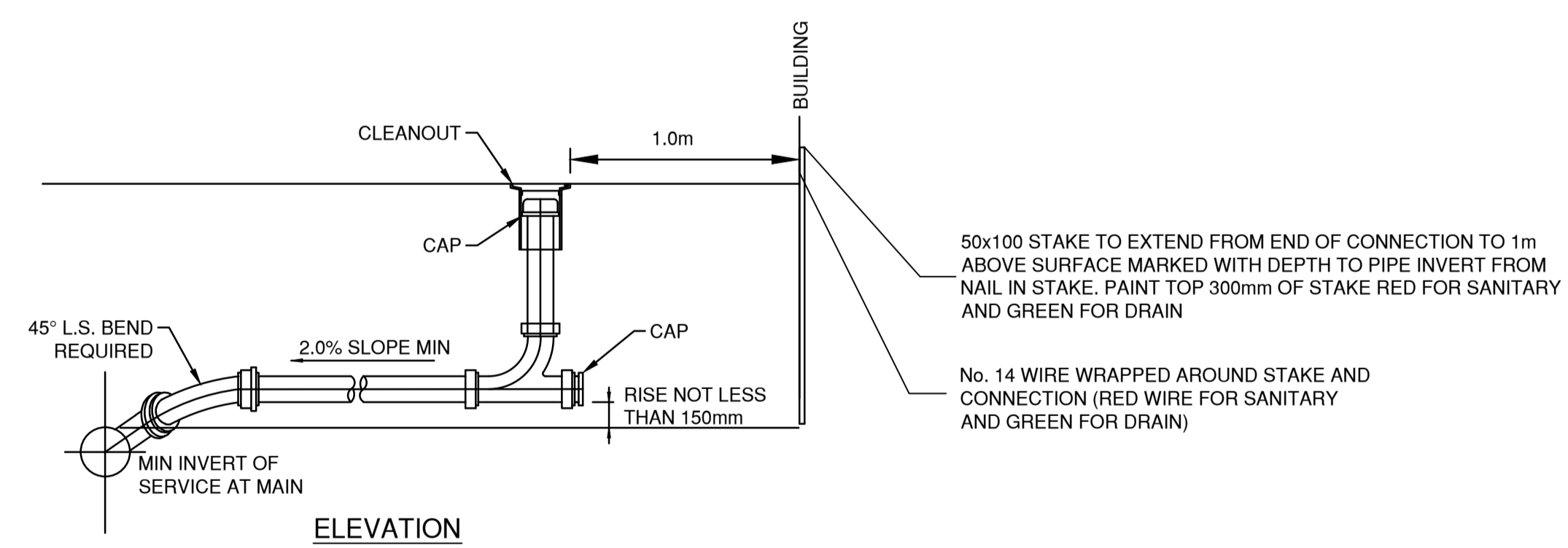
1 STORM WATER DETENTION CHAMBER
C03 N.T.S.



2 FLOW CONTROL MANHOLE
C03 N.T.S.



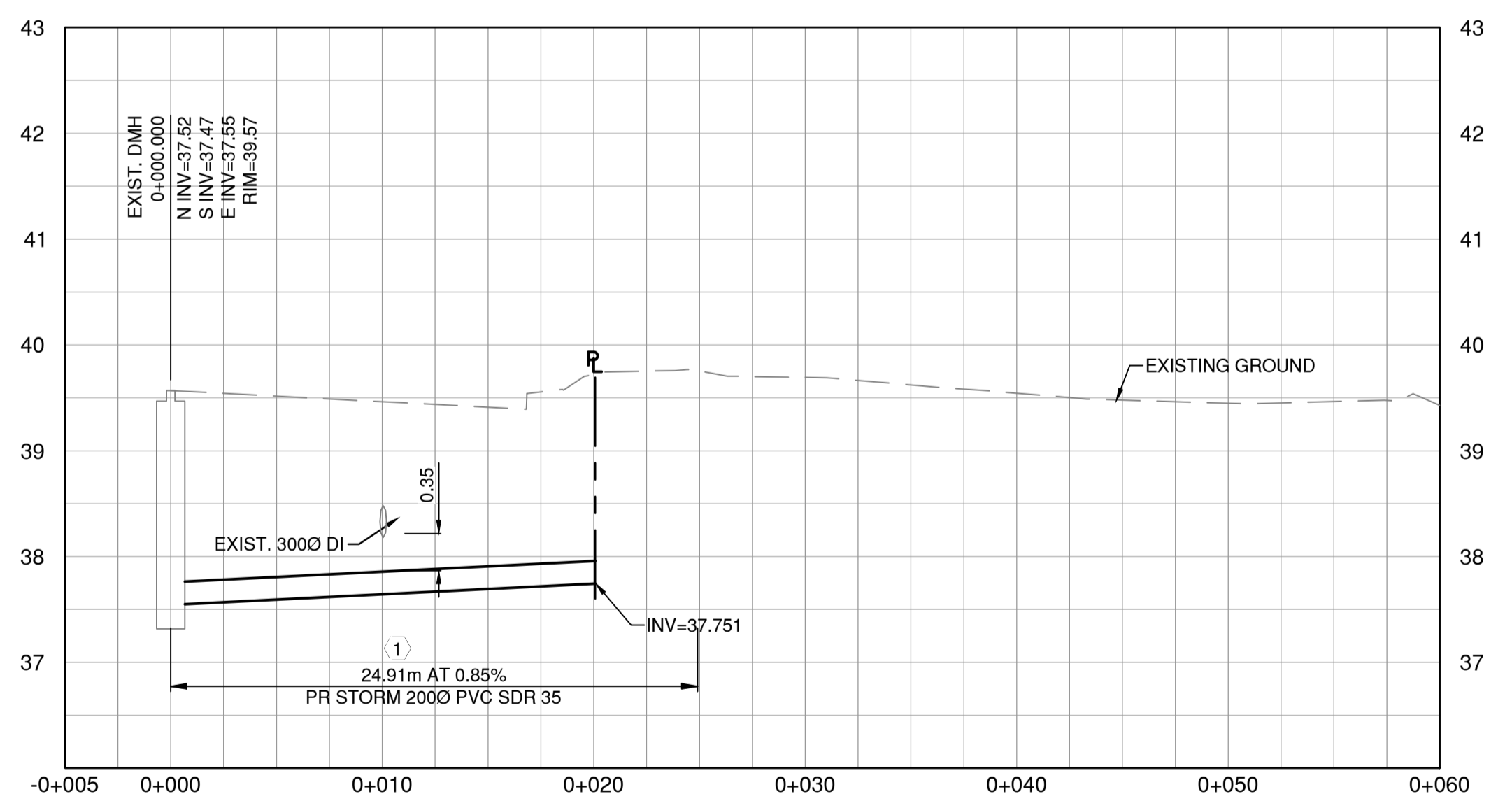
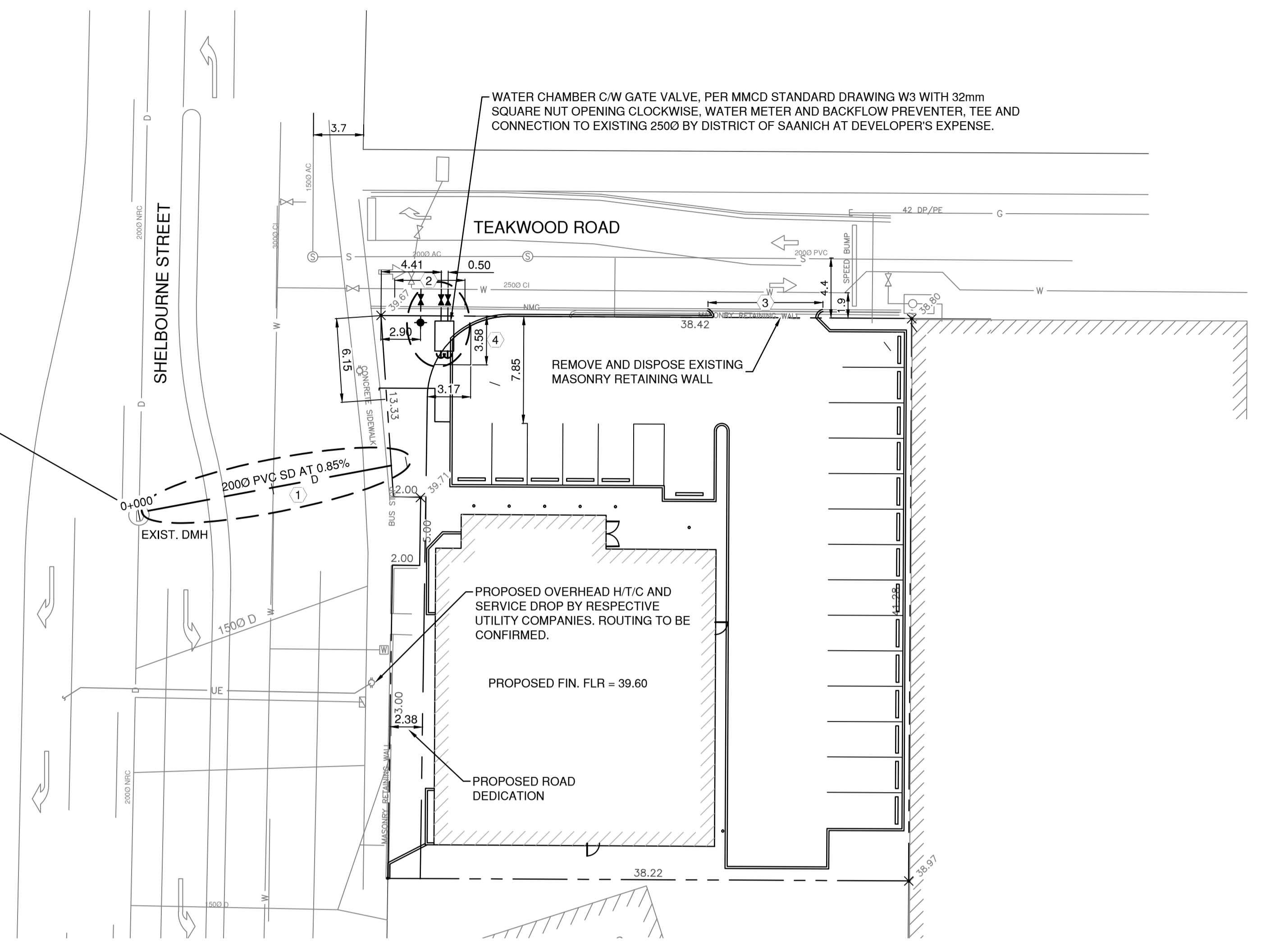
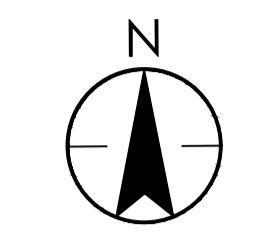
3 CDS 2015-4 OIL INTERCEPTOR
C03 N.T.S.



5 SANITARY & DRAIN SERVICE CONNECTION
C03 N.T.S.

NOTES:

- STANDARD SANITARY & STORM DRAIN CONNECTIONS TO BE 100mmØ UNLESS OTHERWISE SPECIFIED
- MINIMUM COVER OF EARTH OVER PIPE - 1.0m
- POSITION OF ALL TEES & WYES TO BE MEASURED & RECORDED BY CONTRACTOR
- TERMINATE SERVICE WITH WYE AND RISER OF SERVICE PIPE DIAMETER AND CAP NOT MORE THAN 150mm BELOW FINISHED SURFACE. IF UNDER CONCRETE OR HARD SURFACE, USE APPROVED CLEAN-OUT COVER.



GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO SAANICH STANDARD SPECIFICATIONS, MMCD SPECIFICATIONS, SUPPLEMENTARY SAANICH MMCD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED ON THIS DRAWING.
- PERMIT TO CONSTRUCT WORKS ON MUNICIPAL ROAD ALLOWANCE AND/OR MUNICIPAL RIGHT-OF-WAY MUST BE OBTAINED FROM THE ENGINEERING DEPT. BEFORE WORKS COMMENCE.
- A PERMIT TO CONSTRUCT WORKS UNDER OR ADJACENT TO BOULEVARD OR BY-LAW PROTECTED TREES MUST BE OBTAINED FROM SAANICH PARKS DEPT. BEFORE WORKS COMMENCE.
- SEWER / DRAIN / WATER CONSTRUCTION WITHIN PRIVATE EASEMENTS TO BE IN ACCORDANCE WITH BC PLUMBING CODE AND INSPECTED BY SAANICH INSPECTOR.
- REPAIR AND/OR REPLACE ALL INFRASTRUCTURE/PRIVATE PROPERTY DAMAGED OR REMOVED DURING CONSTRUCTION, TO BETTER THAN, OR EQUAL TO PRE-CONSTRUCTION CONDITION.
- REINSTATE ALL PRIVATE PROPERTY AND BOULEVARDS TO PRE-CONSTRUCTION CONDITIONS.
- ENSURE THE CURRENT MUNICIPAL O.H.&S. GROUND DISTURBANCE PRACTICE AND PROCEDURES ARE FOLLOWED. CONTACT BC1 AT 1-800-474-6886 FOR EXTERNAL UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS PRIOR TO CONSTRUCTION.
- UNDERGROUND WIRING TO BE CONSTRUCTED IN ACCORDANCE WITH BC HYDRO / TEL DRAWINGS & SPECIFICATIONS
- ENSURE ALL EXISTING SERVICES STAY IN OPERATIONAL CONDITION DURING CONSTRUCTION.
- GAS WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH APPROVED FORTIS BC GAS DRAWINGS.

CONSTRUCTION NOTES:

- 2000 STORM SERVICE TO MMCD STANDARD DRAWING S8. INVERT AT PROPERTY LINE = 37.75. INSTALLATION BY SAANICH AT DEVELOPERS' EXPENSE
- REPLACE EXISTING DROP CURB WITH NON-MOUNTABLE CURB TO MMCD STD. DRAWING C-4
- INSTALL CURB DROP TO MMCD STD. DRAWING C-4
- PROPOSED STATUARY RIGHT-OF-WAY FOR WATER VAULT



FIRST CAPITAL REALTY INC
CIBC BRANCH BUILDING

4	ISSUED FOR AMENDED DP	OL	AG	2016.09.23
3	ISSUED FOR TENDER	OL	AG	2016.08.30
2	ISSUED FOR BUILDING PERMIT APPLICATION	OL	AG	2016.06.03
1	ISSUED FOR 75% REVIEW			2016.05.20
Issued		By	Appd.	YY.MM.DD

STANTEC PROJECT No.	14420410
STANTEC DWG. No.	C2.1
REV.	0

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES
THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.

LEGEND	
Existing Municipal Infrastructure	Drain —D—
Proposed Municipal Infrastructure	Ditch —D—
Existing External U/G Utilities	Sewer —S—
Proposed External U/G Utilities	Water —W—
Street Lighting	Pole Mount
Post Top	Pedestrian Signal
	Traffic Signal
	Ctrl Monument
	Traverse Hub
	Gas Valve
	Water Meter
	Concrete Box
	Wood Box
	Manhole
	Catch Basin
	Culvert
	Silt Trap
	Cap / Plug
	Air Valve
	Valve
	Flush Valve
	Hydrant
	Reducer
	1 PRELIMINARY

REVISIONS	
6	1 PRELIMINARY

REVISIONS APPROVED	
REVISION # 1	REVISION # 2
REVISION # 3	
Approved	Date
Signed	
Design Engineer	Manager of Development
Development Coordinator	

DESIGN APPROVED	
Approved By	Date
Signed	
Design Engineer	Manager of Development
Development Coordinator	

DISTRICT OF SAANICH	
3959 SHELBOURNE ST. SAANICH, BC	
SITE SERVICING PLAN - WATER AND DRAIN	
B.M. :	Mon 87H2530
Design:	HL
Drawn:	HL
Scale:	Hor: 1:250 Vertical: 1:50
Elev:	38.665m
Checked:	
Date:	May 2016

FILE No.	SVS02008
DESIGN No.	040-2016
DRAWING No.	

C:\Users\jguy\OneDrive\Documents\14420410-C2-1.dwg

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Legend	
	ASPHALT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT (REFER TO LANDSCAPE DRAWING)
	MULCH

NOTE:
FOR ALL SITE SURFACES, TREES, SHRUBS AND VEGETATION, TYPE AND DETAILS PLEASE REFER TO LANDSCAPE DRAWINGS
B2: NON-ILLUMINATED BOLLARD TO PROTECT LANTERN

Notes
LEGAL DESCRIPTION
LOT K, BLOCK 2, SECTION 57;
VICTORIA DISTRICT PLAN 901A, EXCEPT PLAN 49121, DD C22006

SITE STATISTICS	
PROPOSED DEVELOPMENT:	RETAIL SHELL - FINANCIAL INSTITUTION
OWNER:	FIRST CAPITAL REALTY INC.
ARCHITECT:	STANTEC ARCHITECTURE LTD.
MUNICIPAL ADDRESS:	3959 SHELBOURNE ST, SAANICH, BC
LEGAL DESCRIPTION:	LOT K, BLOCK 2, SECTION 57; VICTORIA DISTRICT PLAN 901A, EXCEPT PLAN 49121, DD C22006
LAND USE DESIGNATION:	C-2S GENERAL COMMERCIAL SHELBOURNE ZONE
PERMITTED USE PROPOSED:	FINANCIAL INSTITUTION
PARCEL SIZE:	1556.528m ² (old) 1460m ² (new)
AREA OF SITE DEVELOPMENT:	1556.528m ² (old) 1460m ² (new)
IMPERVIOUS SURFACE AREA:	1411.626m ²
BUILDING AREA	
PROPOSED MAIN FLOOR:	475m ² GFA
PROPOSED SECOND FLOOR:	+297m ² GFA
TOTAL FLOOR AREA:	=772m ² GFA
FLOOR SPACE RATIO ALLOWED:	1.30 F.S.R.
PROPOSED FSR:	0.4973 F.S.R.
BUILDING HEIGHT ALLOWED:	15m
PROPOSED BUILDING HEIGHT:	9.71m
SETBACKS REQUIRED:	7.5 METERS (STREET-FACING) 1.3 METERS (STREET-FACING, NO PARKING) 3.0 METERS (SIDE YARD) 3.0 METERS (REAR YARD)
PARKING	
REQUIRED:	1 STALL PER 16m ² FOR FINANCIAL INSTITUTIONS (772/16 = 49) 49 TOTAL PARKING STALLS REQUIRED
PROVIDED:	20 TOTAL PARKING STALLS (VARIANCE REQUIRED)
LOADING STALLS REQUIRED:	1 LOADING STALL FOR GFA BETWEEN 700m ² - 1400m ²
PROVIDED:	0 (VARIANCE REQUIRED)
BICYCLE PARKING STALLS:	1 PER 250m ² FOR FINANCIAL INSTITUTIONS (775/250 = 4)
PROPOSED ACCESSIBLE PARKING:	1 PROVIDED (1 REQUIRED PER 100 STALLS)
VARIANCES	
PARKING STALL COUNT:	49 REQUIRED, 20 PROVIDED
SETBACK PROJECTION:	3.75 METERS REQUIRED ALONG SHELBOURNE STREET 1.3 METERS PROVIDED DUE TO BUS STOP

Revision	By	Appd	YYYY-MM-DD
ISSUED FOR AMENDED DP	SA	RR	2016.09.23
ISSUED FOR BUILDING PERMIT	SA	JC	2016.06.09
ISSUED FOR 80% REVIEW	SA	JC	2016.05.31
ISSUED FOR 75% REVIEW	SA	JC	2016.05.20
ISSUED FOR DP	CV	RR	2016-04-29
DP PRE-APPLICATION	CV	RR	2016-04-18
Issued	By	Appd	YYYY-MM-DD

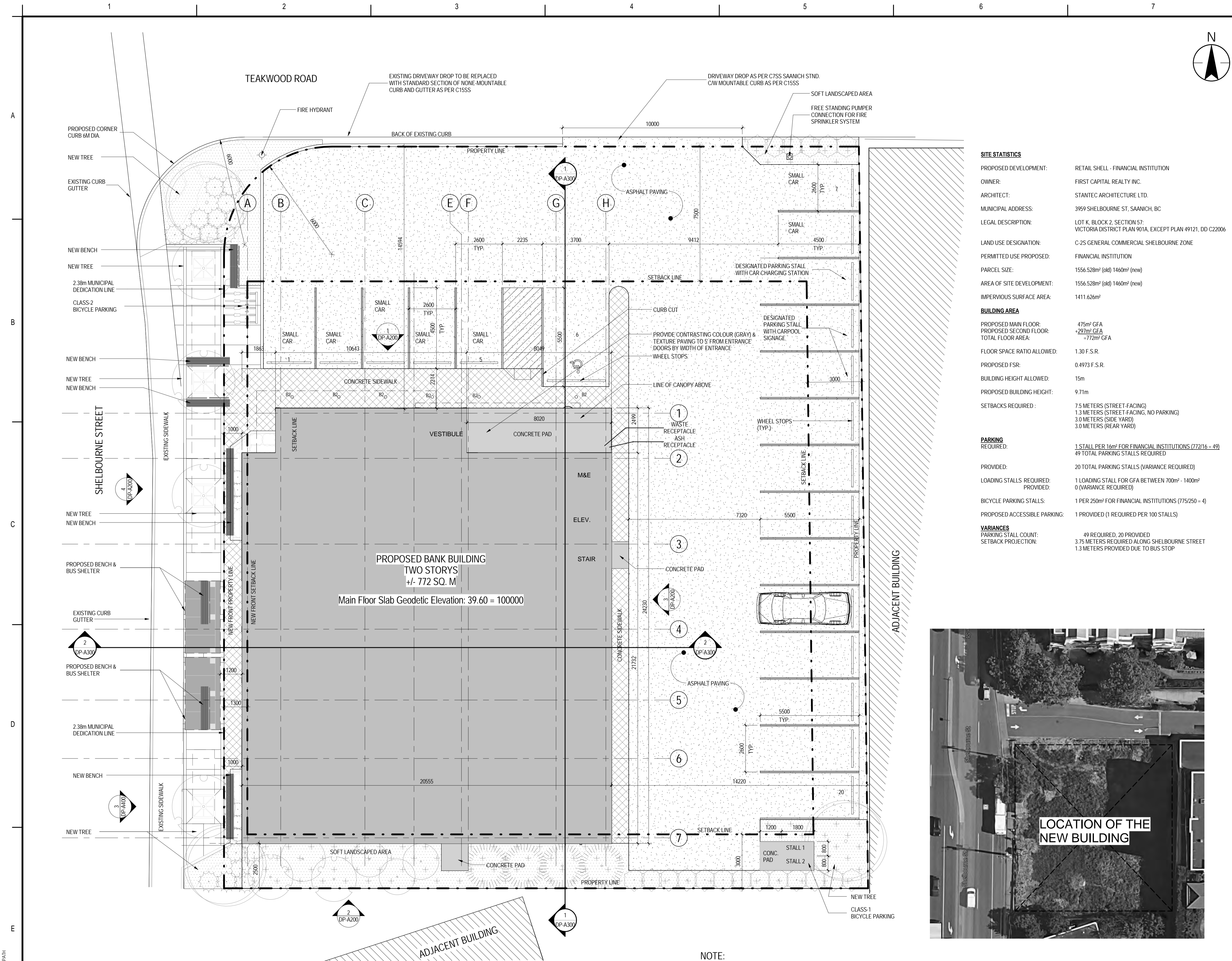
Permit-Seal

Client/Project
FIRST CAPITAL REALTY INC
CIBC SAANICH BRANCH BUILDING
3959 SHELBOURNE ST, SAANICH, BC

Title
SITE PLAN

Project No. 144204010
Scale As indicated
Revision Drawing No.

DP-A100



NOTE:
REFER TO DP-L100 FOR PLANTING DETAILS

1 SITE PLAN
DP-A100 1:100

NOTE: THIS APPLICATION IS FOR BASE BUILDING ONLY. TENANT INTERIORS WILL BE PROVIDED UNDER A SEPARATE APPLICATION

Notes

LEGAL DESCRIPTION
 LOT K, BLOCK 2, SECTION 57,
 VICTORIA DISTRICT PLAN 901A, EXCEPT PLAN
 49121, DD C22006

Revision	By	Appd	YYYY.MM.DD
ISSUED FOR AMENDED DP	SA	RR	2016.09.23
ISSUED FOR BUILDING PERMIT	SA	JC	2016.06.09
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ISSUED FOR DP	CV	RR	2016-04-29
DP PRE-APPLICATION	CV	RR	2016-04-18
Issued	By	Appd	YYYY.MM.DD

Permit-Seal

Client/Project
 FIRST CAPITAL REALTY INC

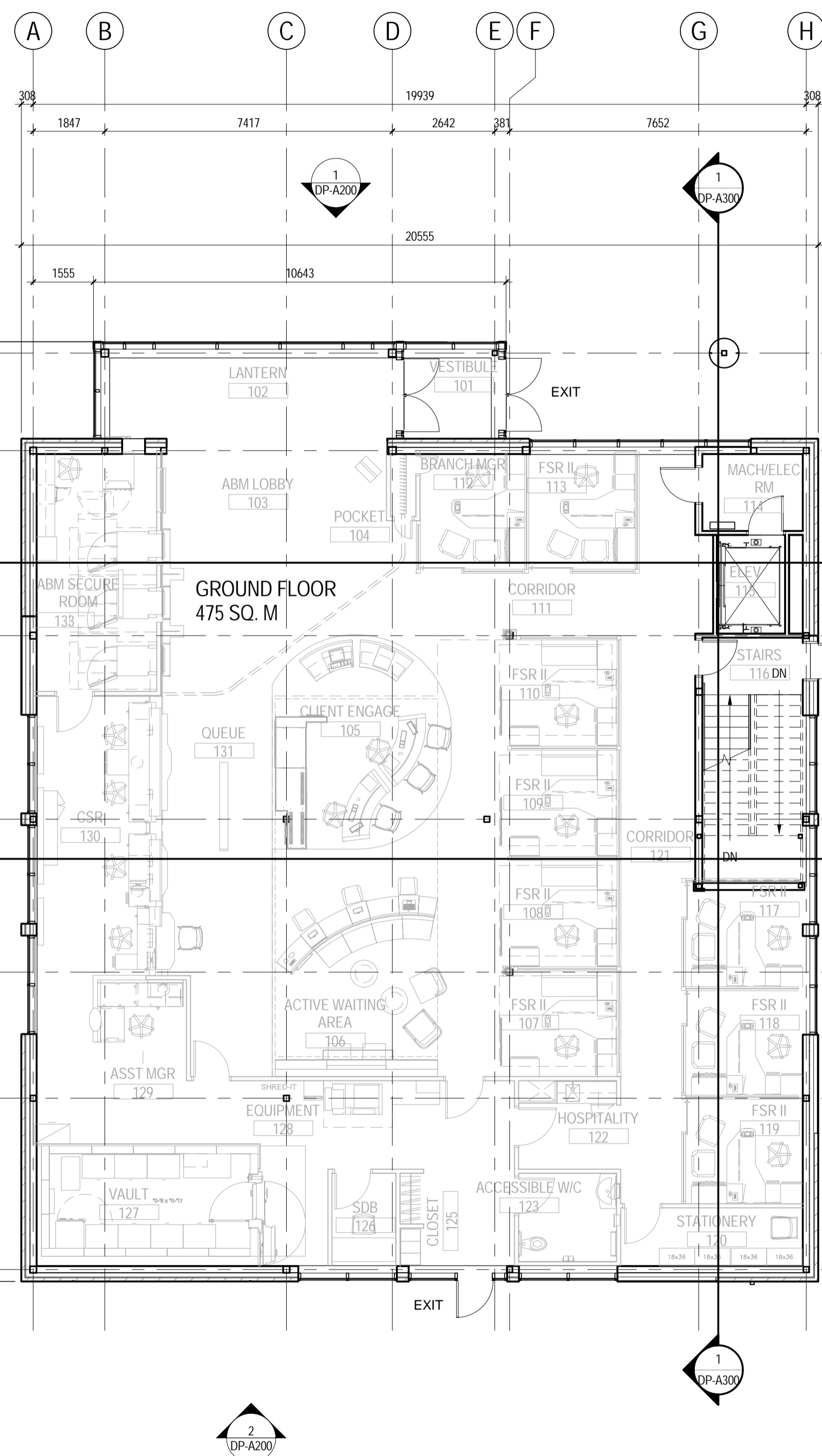
CIBC SAANICH BRANCH BUILDING

3959 SHELBOURNE ST, SAANICH, BC

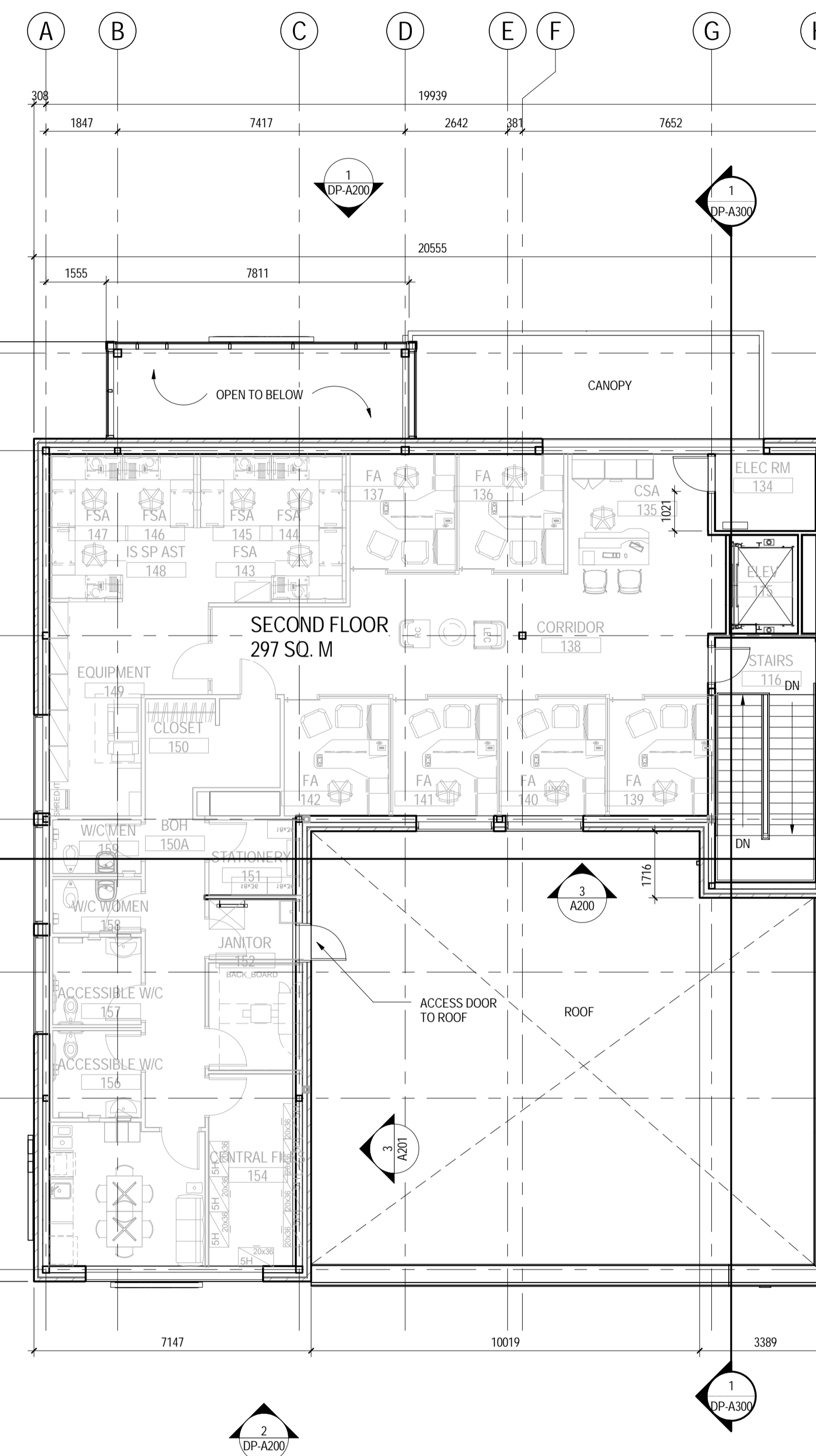
Title
 FLOOR PLAN

Project No. 144204010
 Scale As indicated
 Revision Drawing No.

DP-A110



1 FLOOR PLAN - GROUND FLOOR
 DP-A110 1:100



2 FLOOR PLAN - SECOND FLOOR
 DP-A110 1:100

Revision	By	Appd	YYYY.MM.DD
ISSUED FOR AMENDED DP	SA	RR	2016.09.23
ISSUED FOR BUILDING PERMIT	SA	JC	2016.06.09
ISSUED FOR 80% REVIEW	SA	JC	2016.05.31
ISSUED FOR 75% REVIEW	SA	JC	2016.05.20
ISSUED FOR DP	CV	RR	2016-04-29
DP PRE-APPLICATION	CV	RR	2016-04-18
Issued	By	Appd	YYYY.MM.DD

Client/Project
FIRST CAPITAL REALTY INC

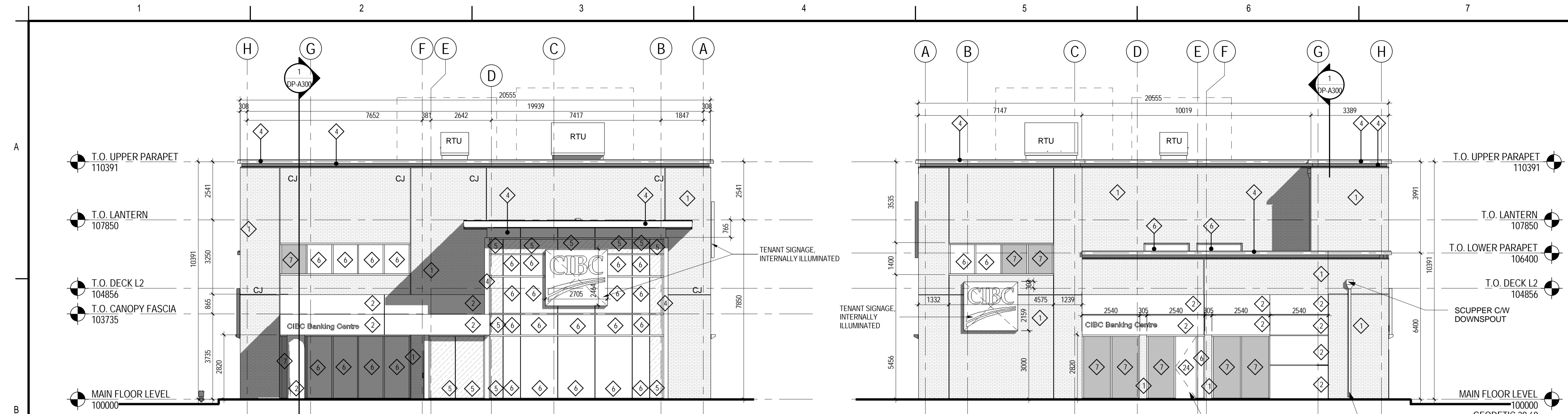
CIBC SAANICH BRANCH BUILDING

3959 SHELBOURNE ST, SAANICH, BC

Title
EXTERIOR ELEVATIONS

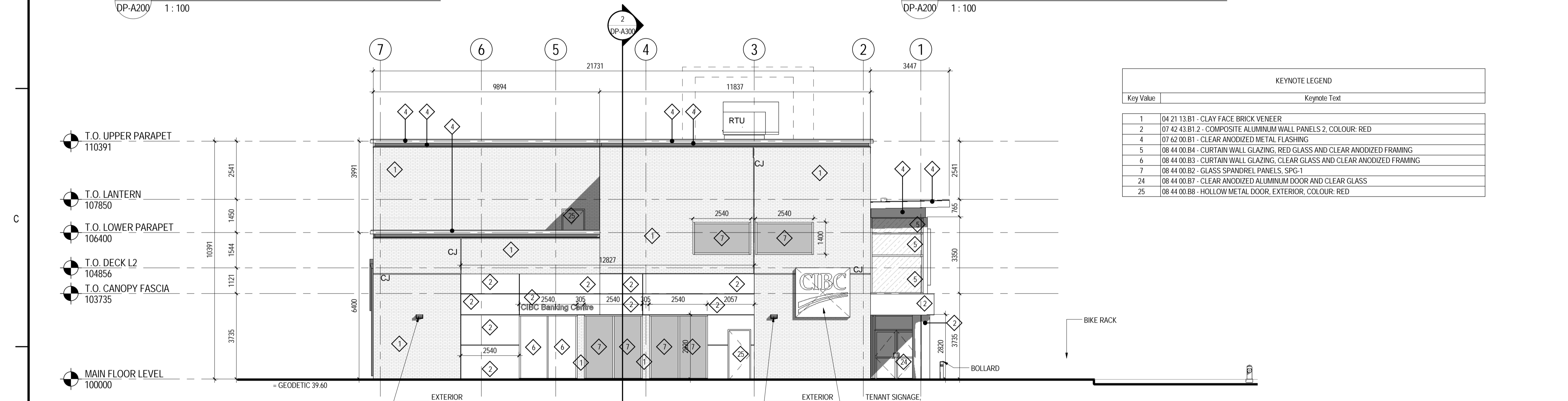
Project No. 144204010 Scale As indicated
Revision Drawing No.

DP-A200



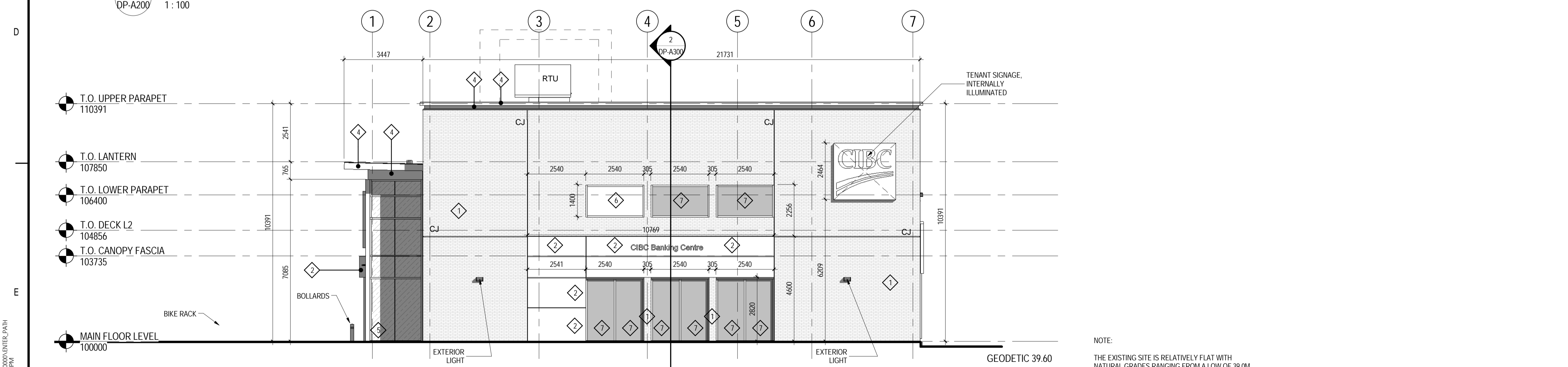
1 EXTERIOR ELEVATION - NORTH
DP-A200 1:100

2 EXTERIOR ELEVATION - SOUTH
DP-A200 1:100



3 EXTERIOR ELEVATION - EAST
DP-A200 1:100

Key Value	Keynote Text
1	04 21 13.B1 - CLAY FACE BRICK VENEER
2	07 42 43.B1.2 - COMPOSITE ALUMINUM WALL PANELS 2, COLOUR: RED
4	07 62 00.B1 - CLEAR ANODIZED METAL FLASHING
5	08 44 00.B4 - CURTAIN WALL GLAZING, RED GLASS AND CLEAR ANODIZED FRAMING
6	08 44 00.B3 - CURTAIN WALL GLAZING, CLEAR GLASS AND CLEAR ANODIZED FRAMING
7	08 44 00.B2 - GLASS SPANDREL PANELS, SPG-1
24	08 44 00.B7 - CLEAR ANODIZED ALUMINUM DOOR AND CLEAR GLASS
25	08 44 00.B8 - HOLLOW METAL DOOR, EXTERIOR, COLOUR: RED



4 EXTERIOR ELEVATION - WEST
DP-A200 1:100

NOTE:
THE EXISTING SITE IS RELATIVELY FLAT WITH NATURAL GRADES RANGING FROM A LOW OF 39.0M IN THE SOUTHEAST CORNER, TO A HIGH OF 39.9M ALONG THE NORTH PROPERTY LINE. AN AVERAGE GRADE OF 39.60M HAS BEEN ESTABLISHED FOR THE FINISHED FLOOR ELEVATION

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Legend

Notes

LEGAL DESCRIPTION
 LOT 1, BLOCK 2, SECTION 57,
 VICTORIA DISTRICT PLAN 901A, EXCEPT PLAN
 49121, DD C22006

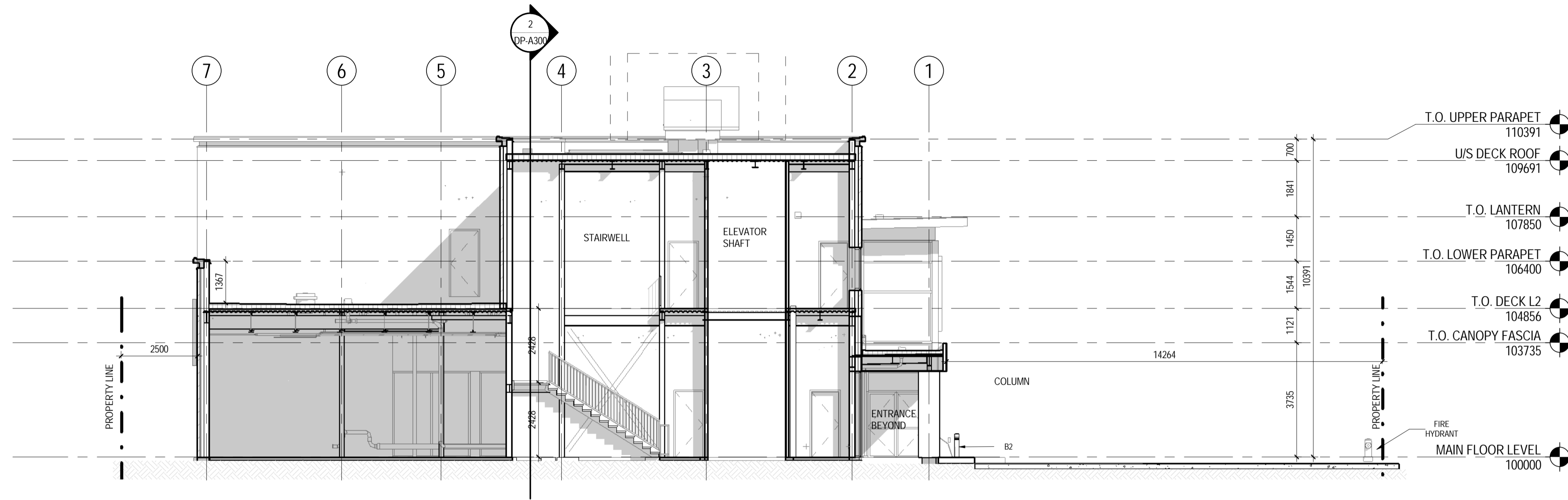
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ISSUED FOR AMENDED DP	SA	RR	2016.09.23
ISSUED FOR BUILDING PERMIT	SA	JC	2016.06.09
ISSUED FOR 80% REVIEW	SA	JC	2016.05.31
ISSUED FOR 75% REVIEW	SA	JC	2016.05.20
ISSUED FOR DP	CV	RR	2016-04-29
DP PRE-APPLICATION	CV	RR	2016-04-18
Issued	By	Appd	YYYY.MM.DD

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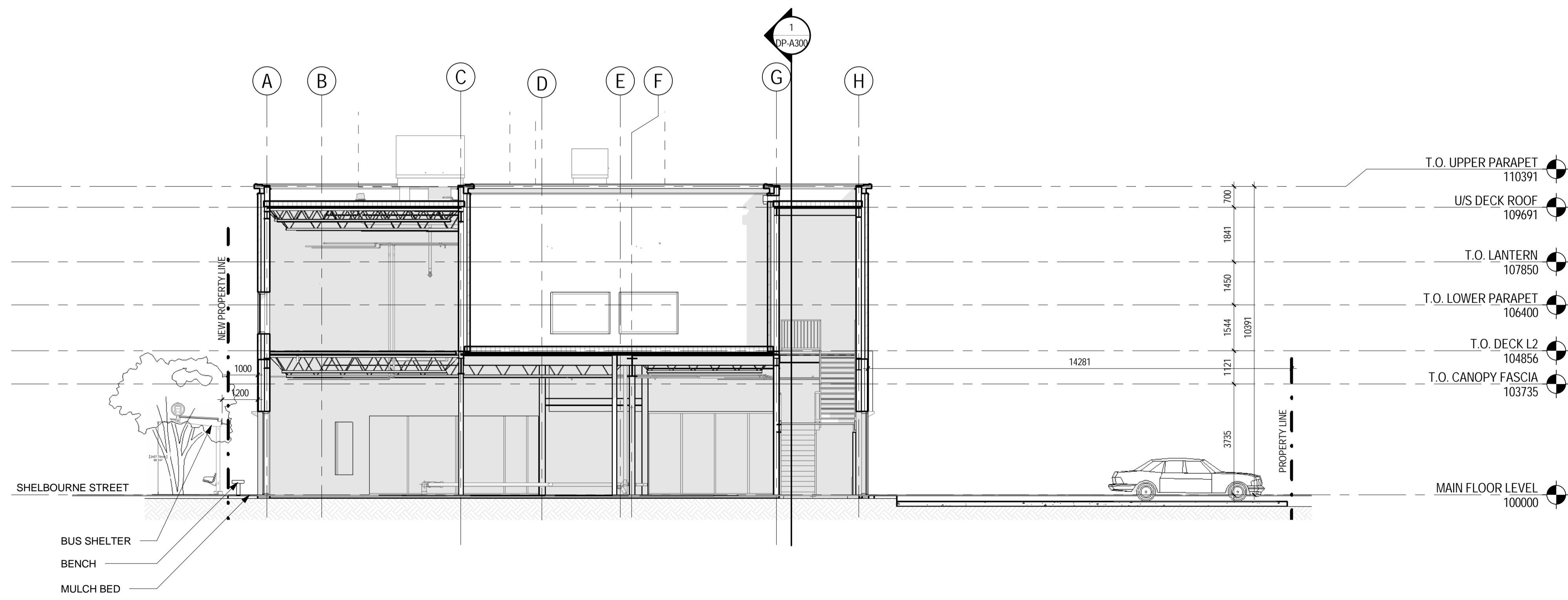
Client/Project
FIRST CAPITAL REALTY INC
CIBC SAANICH BRANCH BUILDING
 3959 SHELBOURNE ST, SAANICH, BC
 Title
BUILDING SECTIONS

Project No. 144204010 Scale As indicated
 Revision Drawing No.

DP-A300



1 BUILDING SECTION - N/S
 DP-A300 1:100



2 BUILDING SECTION - E/W
 DP-A300 1:100



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Legend

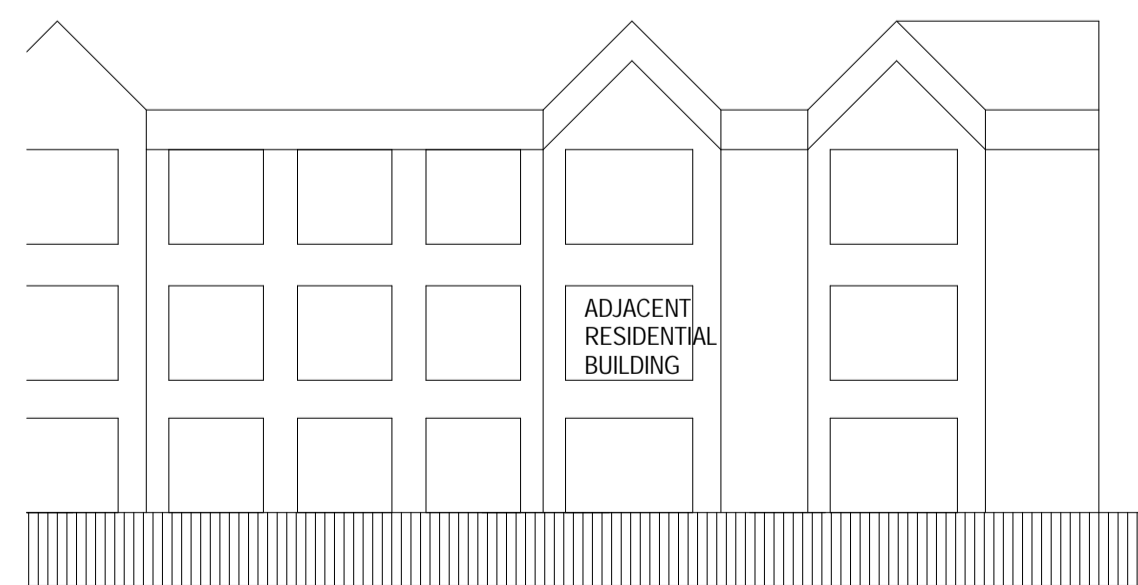
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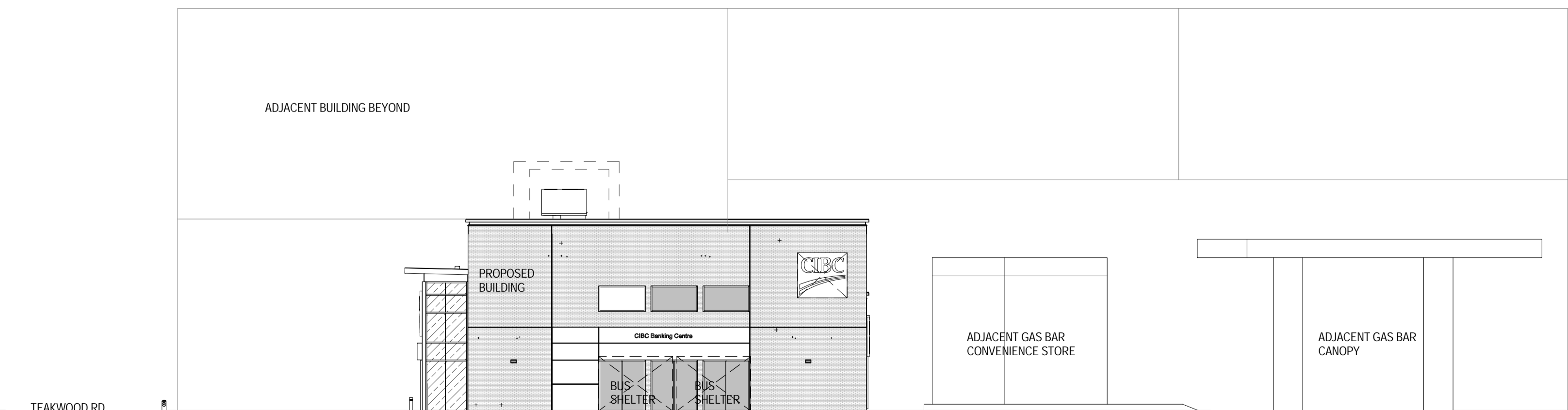
PERSPECTIVE VIEW



SITE PHOTOS



STREETSCAPE ELEVATION - WEST



Revision	By	Appd	YYYY.MM.DD
ISSUED FOR AMENDED DP	SA	RR	2016.09.23
ISSUED FOR BUILDING PERMIT	SA	JC	2016.06.09
ISSUED FOR 80 % REVIEW	SA	JC	2016.05.31
ISSUED FOR 75 % REVIEW	SA	JC	2016.05.20
ISSUED FOR DP	CV	RR	2016-04-29
DP PRE-APPLICATION	CV	RR	2016-04-18
Issued	By	Appd	YYYY.MM.DD

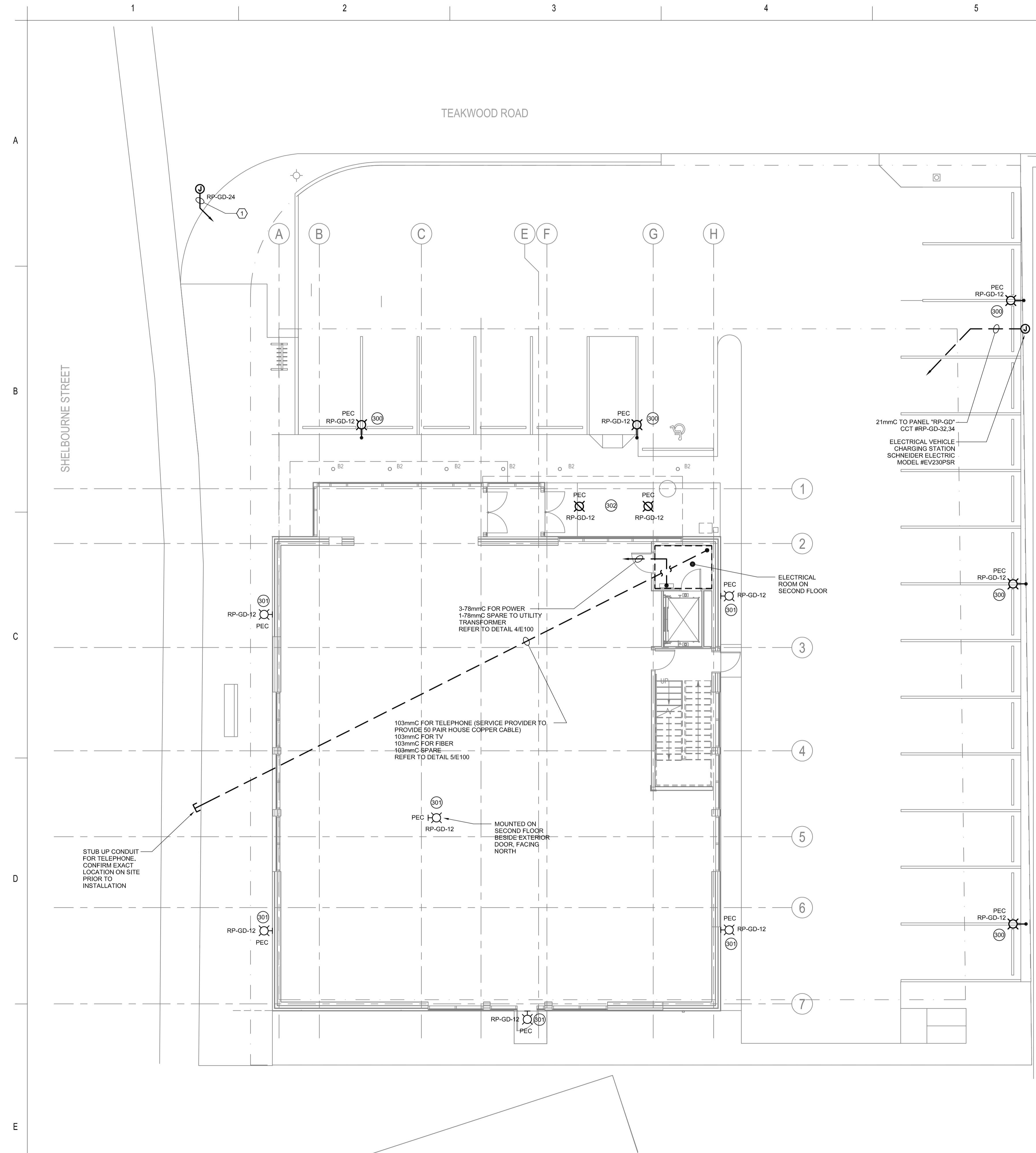
Permit-Seal

Client/Project
FIRST CAPITAL REALTY INC
CIBC SAANICH BRANCH BUILDING
3959 SHELBOURNE ST, SAANICH, BC
Title
PERSPECTIVE & STREETSCAPE

Project No. 144204010	Scale As indicated
Revision	Drawing No.

DP-A400

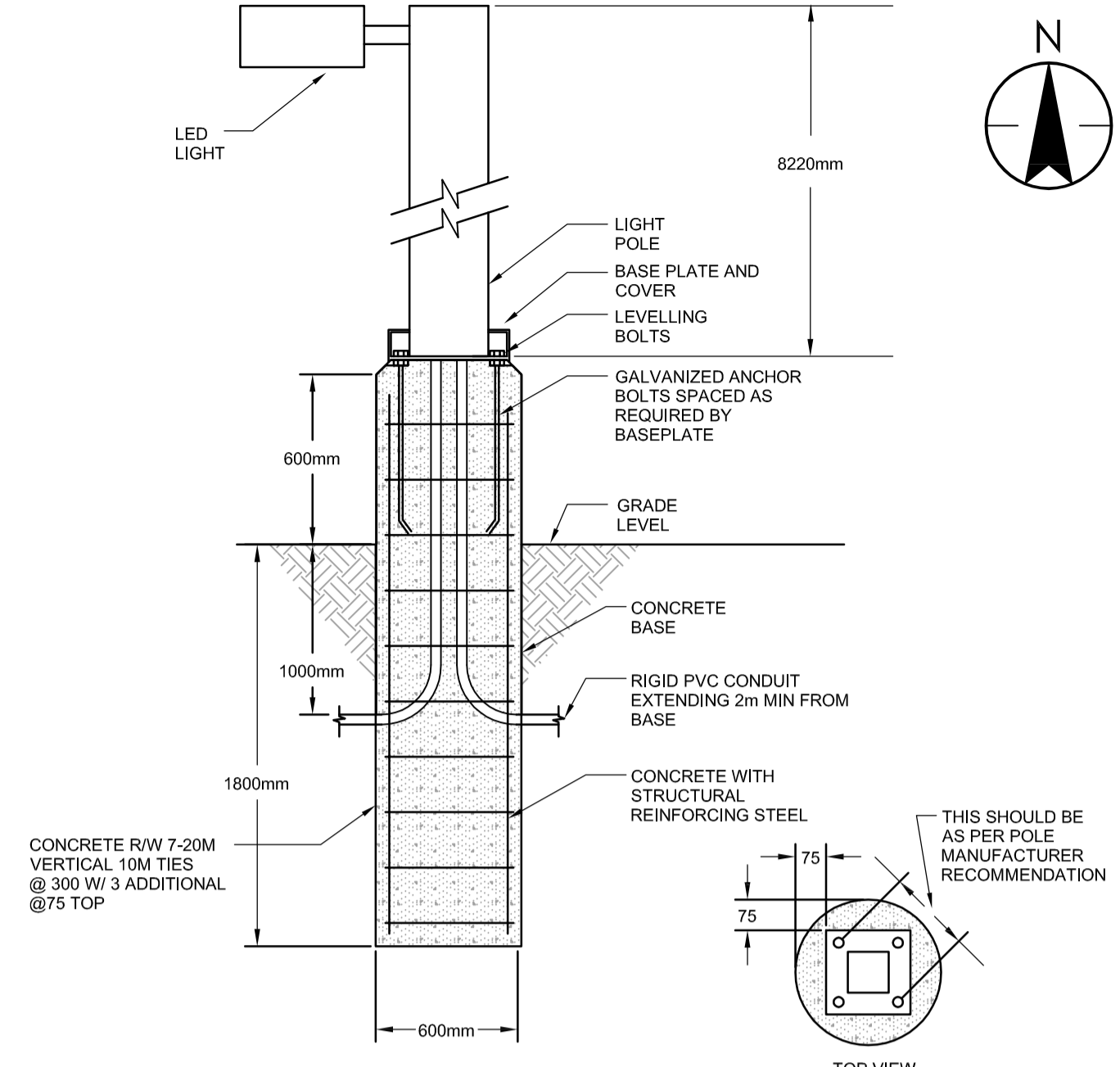
Revision	By	Appd	YYYY.MM.DD
ISSUED FOR AMENDED DP	PC	DD	2016.09.23
ISSUED FOR TENDER	PC	DD	2016.08.30
ISSUED FOR BUILDING PERMIT	PC	DD	2016.06.03
ISSUED FOR 80% REVIEW	PC	DD	2016.05.31
ISSUED FOR 75% REVIEW	PC	DD	2016.05.20
ISSUED FOR DEVELOPMENT PERMIT	PC	DD	2016.05.02
Issued	By	Appd	YYYY.MM.DD



1 SITE PLAN - ELECTRICAL
DP-E100 1:100

KEYNOTES:
① PROVIDE 41mm CONDUIT FOR PYLON SIGN. TERMINATE IN ELECTRICAL ROOM.

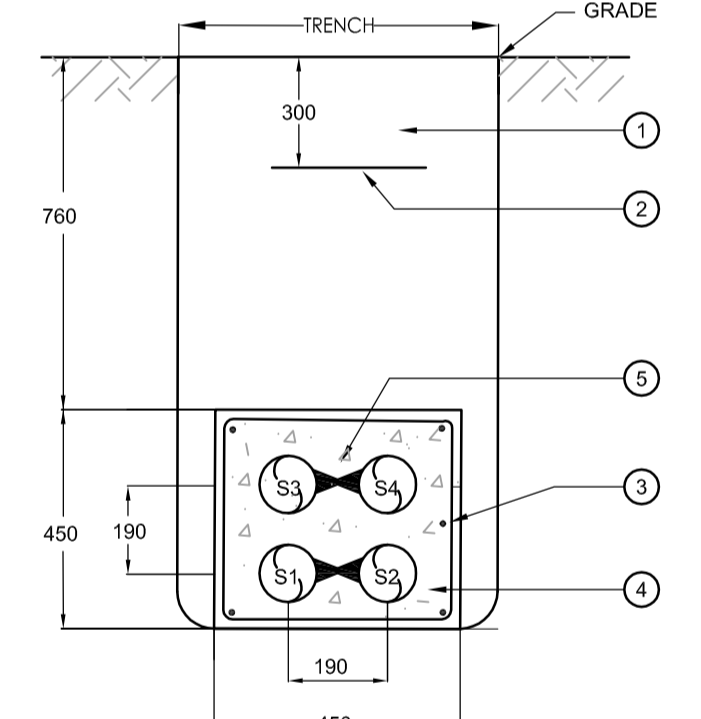
2 PARKING LIGHTING STANDARD BASE DETAIL
E100 N.T.S.



3 TYPE 300 LUMINAIRE
E100 N.T.S.



4 TYPE 301 LUMINAIRE
E100 N.T.S.

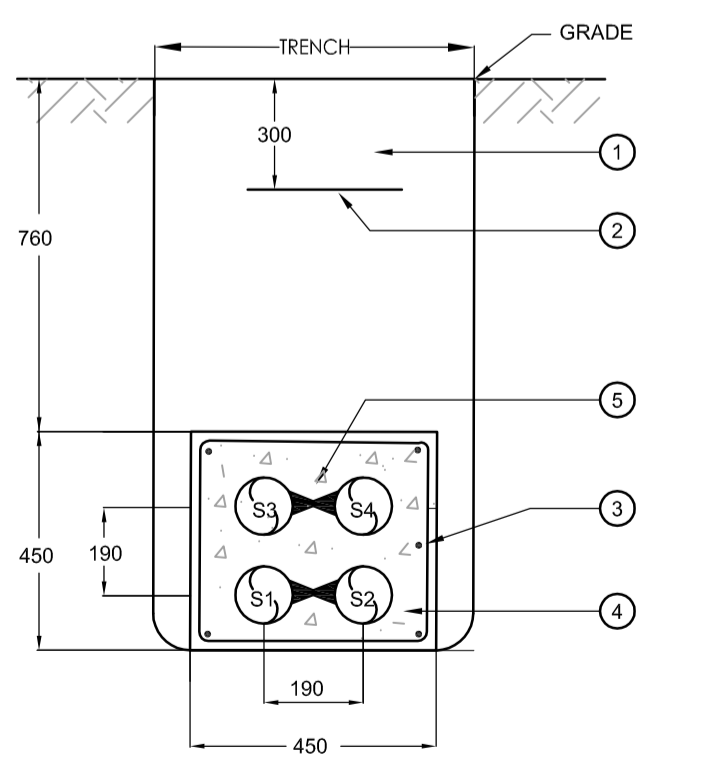


5 SECONDARY POWER DUCT BANK
E100 N.T.S.

ITEM	DESCRIPTION
1	COMPACTED NATIVE MATERIAL
2	YELLOW WARNING TAPE
3	REINFORCING 15M CONTINUOUS REBAR AND 10M TIES (STIRRUPS) 600mm O.C.
4	CONCRETE
5	DUCT SPACER

CONDUIT SCHEDULE		
S1	78mmC	POWER
S2	78mmC	POWER
S3	78mmC	POWER
S4	78mmC	SPARE

NOTE:
1. ALL CONDUITS C/W NYLON PULLWIRE.



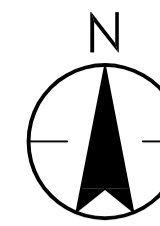
6 COMMUNICATION DUCT BANK
E100 N.T.S.

ITEM	DESCRIPTION
1	COMPACTED NATIVE MATERIAL
2	YELLOW WARNING TAPE
3	REINFORCING 15M CONTINUOUS REBAR AND 10M TIES (STIRRUPS) 600mm O.C.
4	CONCRETE
5	DUCT SPACER

CONDUIT SCHEDULE		
S1	103mmC	TELEPHONE
S2	103mmC	TV
S3	103mmC	FIBER
S4	103mmC	SPARE

NOTE:
1. ALL CONDUITS C/W NYLON PULLWIRE.

NOTES:
1. ALL EXTERIOR LIGHTING WIRING SHALL BE MINIMUM #8 CU AWG INSTALLED IN PVC DBI CONDUIT UNLESS OTHERWISE NOTED.
2. MINIMUM DEPTH OF CONDUITS BELOW GRADE SHALL BE 1000mm.
3. ALL CONDUITS TO BE INSTALLED WITH CLEAN BACKFILL.
4. ALL DRIVEWAY CONDUITS INSTALLED RUNNING BELOW ASPHALT SHALL BE RUN IN CONCRETE ENCASED DUCTBANK.



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Consultants

Legend

Notes

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ISSUED FOR AMENDED DP	PC	DD	2016.09.23
ISSUED FOR TENDER	PC	DD	2016.08.30
ISSUED FOR BUILDING PERMIT	PC	DD	2016.06.03
ISSUED FOR 80% REVIEW	PC	DD	2016.05.31
ISSUED FOR 75% REVIEW	PC	DD	2016.05.20
ISSUED FOR DEVELOPMENT PERMIT	PC	DD	2016.05.02
Issued	By	Appd	YYYY.MM.DD

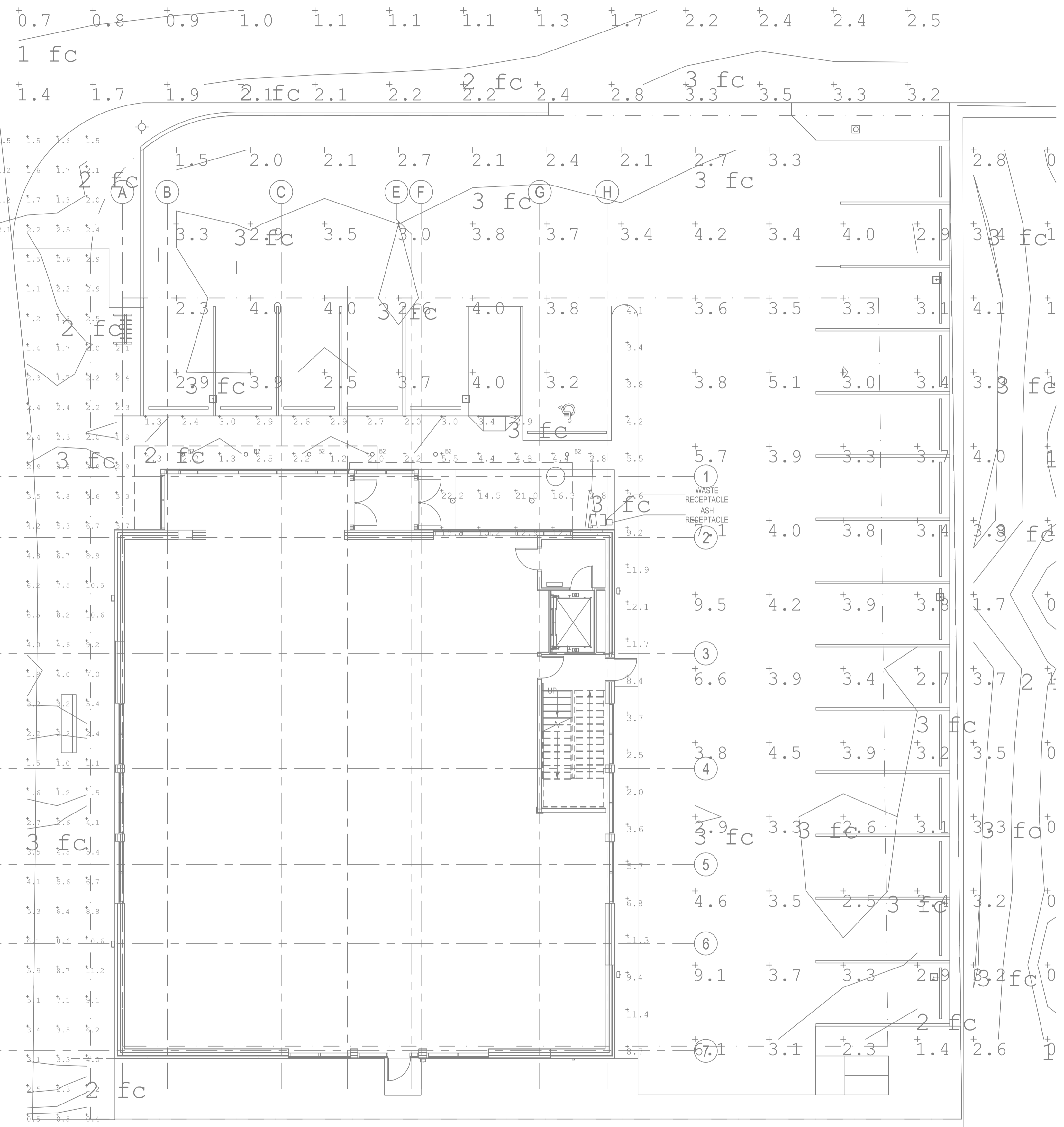
Permit-Seal

Client/Project
FIRST CAPITAL REALTY INC

CIBC BRANCH BUILDING
3959 SHELBOURNE ST. SAANICH, BC

Title
SITE PLAN - LIGHTING CALCULATION

Project No. 144204010 Scale AS indicated
Revision Drawing No.



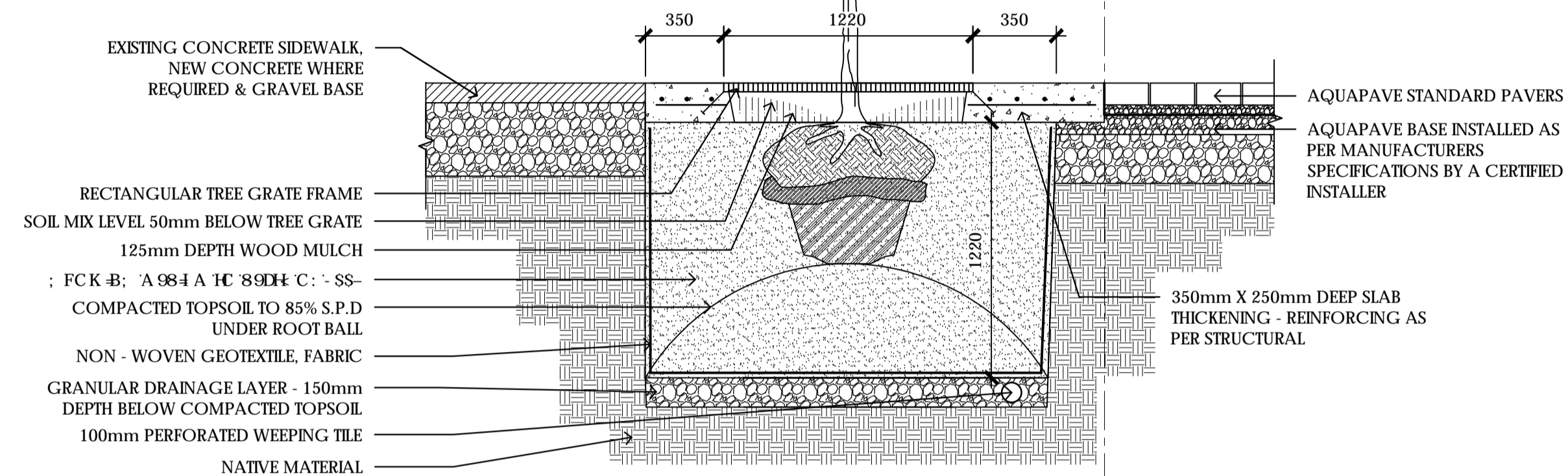
1 SITE PLAN - LIGHTING CALCULATION
DP-E101 1:100

Revision	By	Appd	YYYYMMDD
ISSUED FOR AMENDED DP	MW	DS	2016.09.23
ISSUED FOR BUILDING PERMIT	MW	DS	2016.06.09
ISSUED FOR 80% REVIEW	MW	DS	2016.05.31
ISSUED FOR 75% REVIEW	MW	DS	2016.05.20
ISSUED FOR DP	LM	DS	2016-04-29
DP PRE-APPLICATION	LM	DS	2016-04-18
Issued	By	Appd	YYYYMMDD

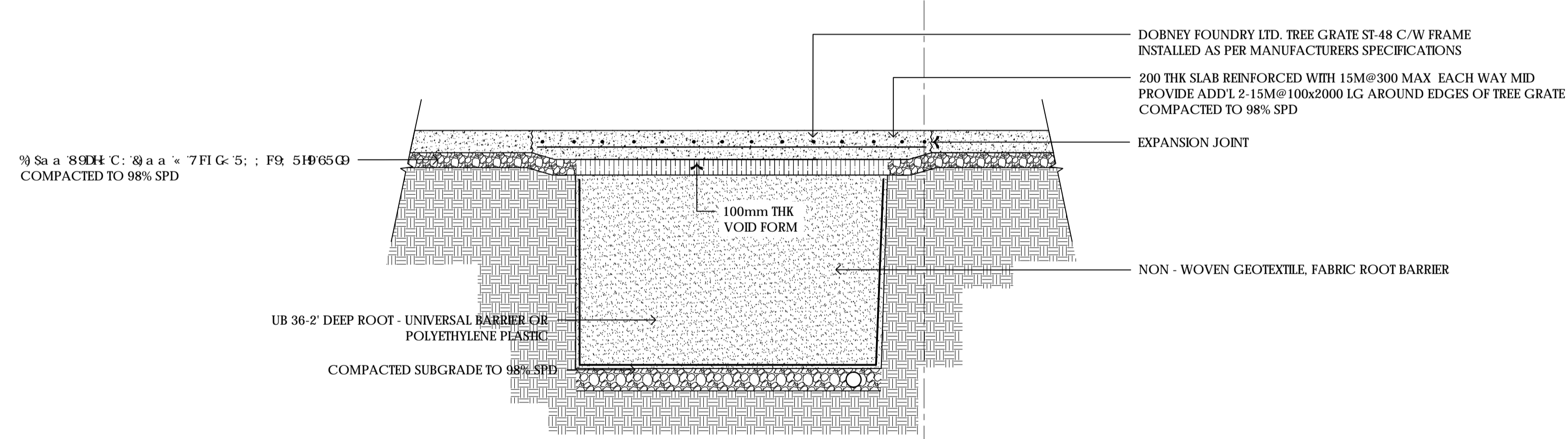


NOTE:

- CONFIRM THICKNESS AND DIMENSIONS OF TREE GRATE WITH GRATE MANUFACTURER - SIZE OPENING AND DEPTH ACCORDINGLY
- GEOTEXTILE FABRIC AND DEEP ROOT UNIVERSAL BARRIER TO BE OVERLAPPED 350mm MINIMUM



1 CONCEPTUAL TREE TRENCH AT TREE
 L101 1:100



2 CONCEPTUAL TREE TRENCH BETWEEN TREES
 L101 1:100